

WHITE ROCK LAKE PARK

2025 MASTER PLAN & DESIGN GUIDELINES

DRAFT 3/14/2025

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ABBREVIATIONS

DPARD	Dallas Park and Recreation Department
Park Board	Dallas Park Board
DWU	Dallas Water Utilities
WRL	White Rock Lake and Park
Lake	White Rock Lake
Park	White Rock Lake Park
DABS	Dallas Arboretum and Botanical Garden
1990	A Master Plan for the 1987 Management Plan (1990)
1994	1994 White Rock Lake Park Design Guidelines
2003 Design Guidelines	2003 Reflection Point Design Guidelines
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WHITE ROCK LAKE - A LONE STAR LEGACY

Designated as a Lone Star Legacy Park by the Texas Recreation and Parks Society in 2024, White Rock Lake Park stands as a vital part of both the local community and the state of Texas. This prestigious recognition highlights the park's enduring significance, having become a cherished destination for over two million visitors each year.

Originally established in 1911 as a water source for the City of Dallas, White Rock Lake was repurposed in 1929 when it was handed over to the Dallas Park and Recreation Department. The park's transformation into a recreational haven accelerated in 1935 when the Civilian Conservation Corps (CCC) and the Work Progress Association (WPA) constructed lasting features, including roads, pavilions, trails, and restrooms. These contributions laid the foundation for the park's legacy, shaping it into an urban oasis enjoyed by a diverse set of user groups.

Over the years, White Rock Lake has faced challenges, including budget constraints, environmental changes, and regional urban development. A pivotal moment came in 1994 when a series of Dallas Morning News articles warned of the lake's potential decline. This sparked renewed commitment to its preservation, leading to significant restoration efforts and the modernization of recreational amenities. Today, the park boasts seventeen historic structures, many of which have been lovingly restored.

Spanning 2,115 acres, White Rock Lake Park is not just a recreational site; it is a vibrant community hub supported by numerous advocacy groups and neighborhood associations. Its rich history and diverse offerings make it a true landmark, representing the heart of Dallas and the spirit of Texas. While challenges remain, the park continues to thrive, embodying the idea that sometimes, a beloved space can be "loved to death," prompting both celebration and responsibility in its stewardship.



A CONSOLIDATED VISION

A vast number of resources have been dedicated to planning enhancements at White Rock Lake Park providing an extensive level of study on the layout and organization of spaces within the park. Previous planning efforts have also defined specific standards for trails, shoreline stabilization, parking areas, lighting, signage, and other park amenities. Two-decades has passed since the last park-wide master plan was developed, DPARD has recognized the need to update the guiding documents at the lake into a consolidated vision.

The 2025 White Rock Lake Master Plan conducts a comprehensive analysis of studies, evaluates previous recommendations and accomplishments, provides recommendations for enhancements based on community feedback, stakeholder and consultant input. The planning effort will, in addition to studying the layout of park areas, evaluate and update the 1994 design guidelines that presented standards for specific elements within the park.

The common goal and vision for White Rock Lake Park developed over the years remains the same. It is still desired that the master plan, validated throughout this planning process, will follow the previously stated vision.

A VISION FOR MASTER PLANNING AT WHITE ROCK LAKE PARK

Creativity enhances this magnificent Dallas landmark that serves a diverse multi-cultural user and preserves its historic and natural resources.

Provide and manage improved recreational activities that are compatible with the park's natural role and enrich it with artful facilities and exterior spaces that respond to the park's heritage.

Promote safe and improved recreational uses and protect this unique natural and recreational resource.

To accomplish the vision, the following design principles were established in the 1994 Master Plan and are still valid today:

IMAGE AND FORM

- Seek natural solutions and nonstructured appearance to park elements
- Capitalize on active water source in Bathhouse area
- Protect fish hatchery as nature area

ECONOMY AND SAFETY

- Provide for good maintenance procedures to reduce cost
- Provide for safe, secure feeling of wellbeing for all park users
- Provide adequate lighting in all use areas of the park

USE AND FUNCTION

- Provide circulation systems that are clearly identified and safe to use
- Provide for wider paths to accommodate increased usage
- Consider softer alternative surface for jogging trails
- Reduce lake edge and park erosion
- Enhance existing park entries and add new ones
- Improve drive-by image and “windows into the park
- Refurbish and remodel existing rental facilities
- Reduce the presence of the automobile within the park
- Where possible, separate circulation systems
- Buffer residential from certain park uses.
- Provide diversity of uses for the multi-cultural user.

LAKE ENRICHMENT INFLUENCE

- Historical: Preserve and enhance the lake’s historical character.
- Health and Educational: Promote a general public awareness that recreational activities improve physical fitness, health, and individual wellness.
- Recreational: Improve the quality of the park’s recreational facilities.
- Environmental: Provide an environment that preserves the parks natural assets and instills a great public awareness and appreciation of the site’s natural elements.
- Art: Expand the parks existing presence of art use to include all appropriate areas in addition to the Bath House Cultural Center. Integrate art forms into the park designs to expand the public’s appreciation and enjoyment of recreational activities.

PREFERRED CONCEPT PLAN

Presented in the 1994 Design Guidelines, the Diversified Concepts was chosen as the preferred organization of spaces around the lake. In order to guide the development of park design criteria, the overall concept plan was established. The overall concept plan described zones of differentiating uses and function. Multiple concepts were developed for the 1994 planning effort and the Diversified Concept was chosen as the preferred concept. This concept calls for multiple unique zones that respond to the current land uses and potential uses of a particular area. Its sensitivity to existing and adjacent park uses makes it a practical and attractive concept plan.

Based on the diversified concept strategy, zones were delineated by the plan to call for a specific character within a particular area. The zones recognized by the 1994 concept plan are defined as:

Multi-Use. Places where concentrated use or recreation exists. These areas include rental facilities, highly used picnic areas, and recreational facilities.

General Park. Areas of open space that do not experience the traffic density of multi-use areas, but are very important in maintain park vistas, creating vegetated park-like buffers, and providing general open terrain for the park user and prairie grasses

Lakeside Drive. Narrow corridors of park lands along lakeshore. These areas facilitate a variety of circulation, picnicking, fishing and boating functions.

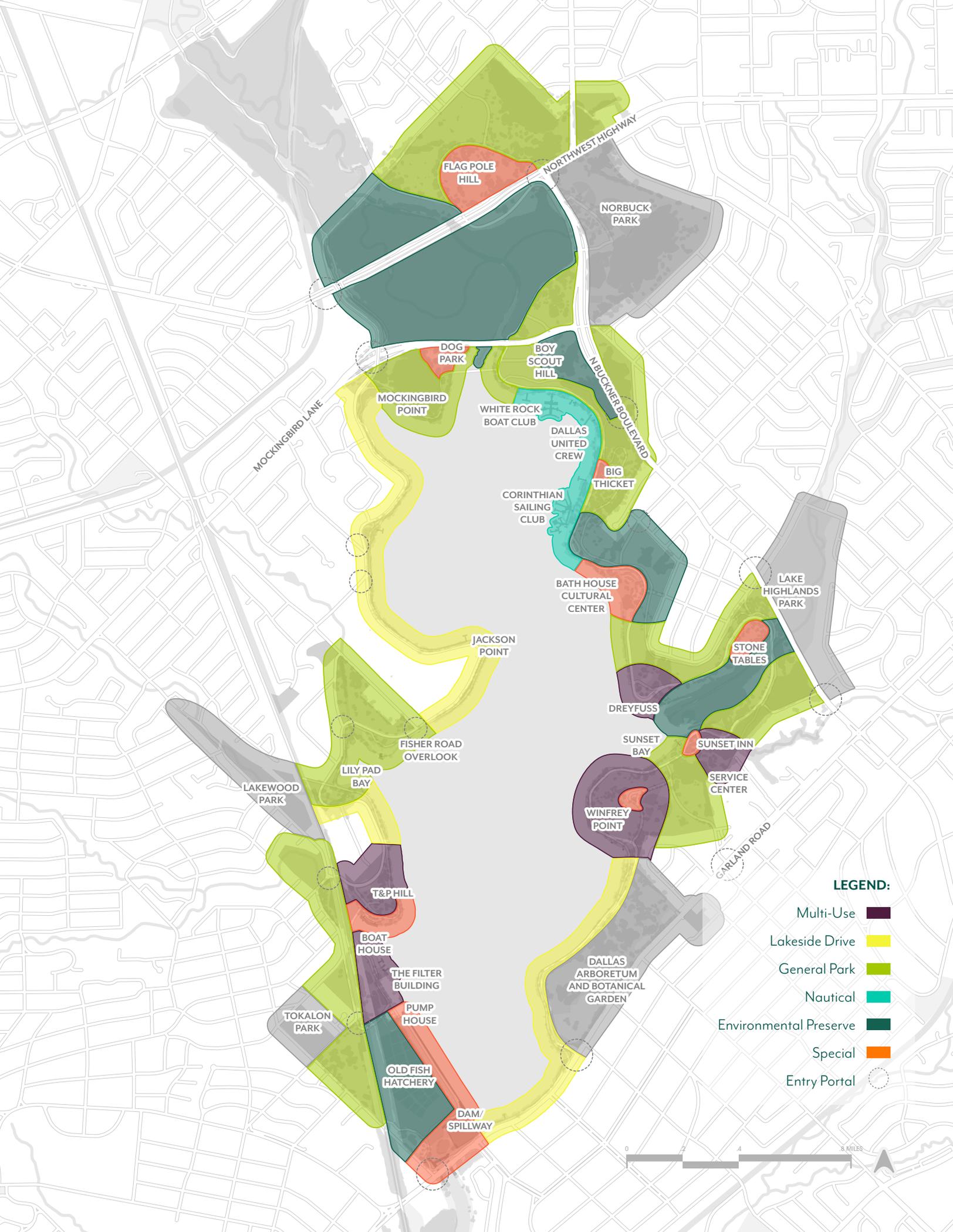
Environmental Preserve. Areas of relatively undisturbed wetlands, creeks, and prairies. These areas are characterized by minimal human impact and should preserve natural habitat for future park users and visitors to experience.

Nautical Areas. White Rock Lake has several sailing clubs that provide a distinct nautical theme to the northeast portion of the lake.

Special Areas. Places that are viewed as park landmarks. Such as

- Dam & Spillway Areas
- Flagpole Hill
- Bath House Cultural Center
- Stone Tables Area
- Boat House at T. P. Hill
- Winfery Point
- Sunset Bay

Since the adoption of the 1994 Design Guidelines multiple projects have been implemented related to this diversified concept, honoring the individual characteristics of the different zones. Even though the concept zones are unique in their character, they have common components that not only serve a functional role, but also provide a sense of unity throughout the park.



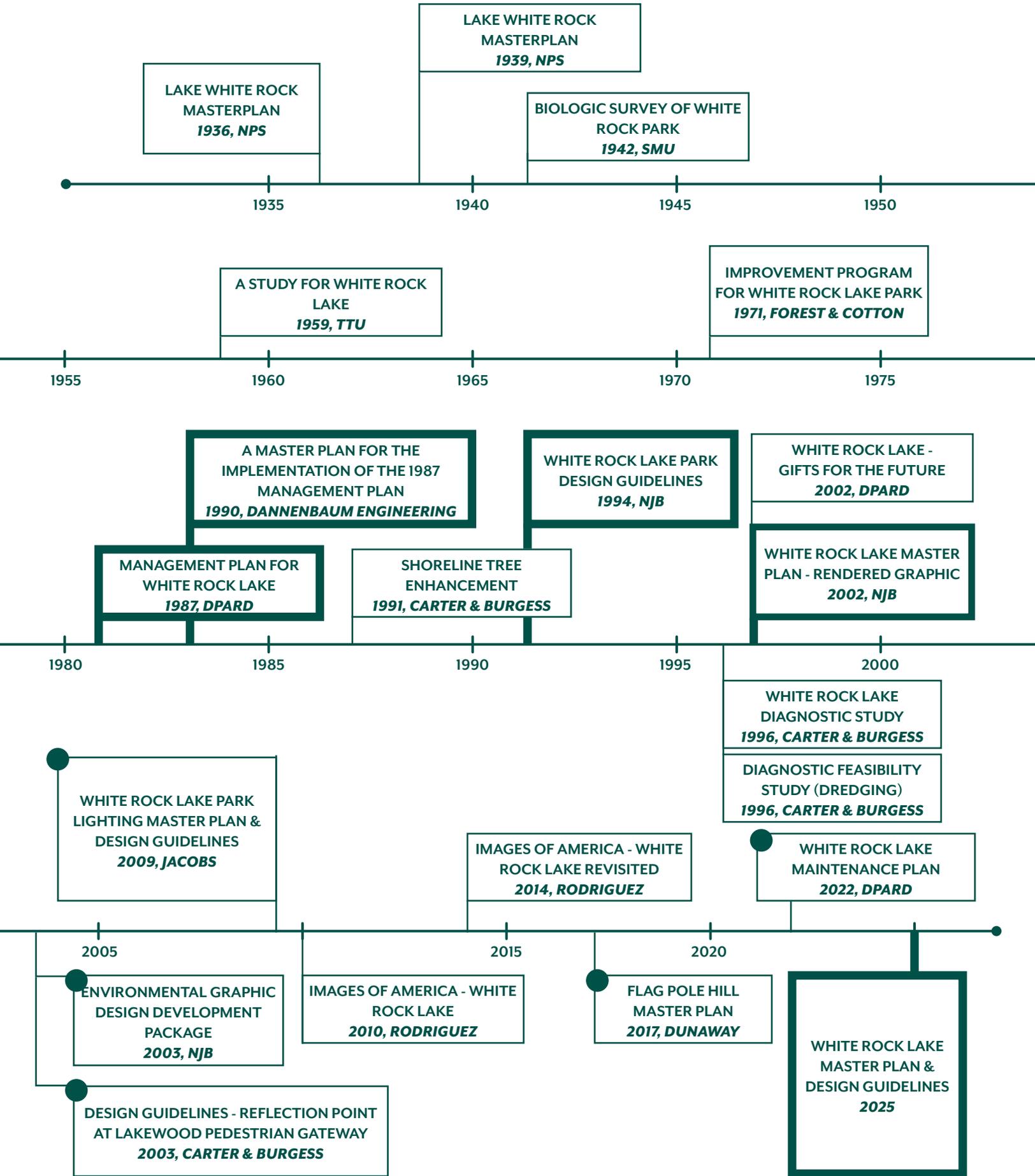
PREVIOUS PLANNING EFFORTS

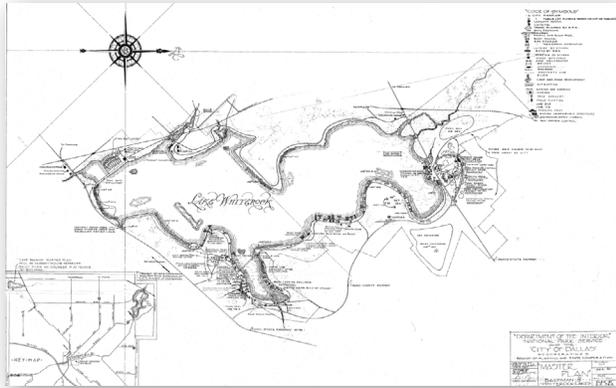
In partnership with DPARD, the planning team performed extensive research on available archived planning efforts for White Rock Lake Park. Early documents developed by the National Park Service (NPS) in the early 1930s lay the framework and rich character of the park. Roadway alignments, picnic areas, and gathering places were proposed and implemented over the following decades. Many of the efforts focus on subject matter specific items such as lighting, shoreline enhancements, signage and monumentation. In the early 1990's planning efforts began looking at park-wide strategy and standards to apply to the park to ensure the original character was restored and retained. The following timeline and plans provide a summary of these documents.

Each of these documents have been scanned into a digital asset and are available on the DPARD website at www.whiterocklakeplans.com

The historical timeline at right illustrate the publication of previous planning efforts at White Rock Lake Park. The symbology for each planning type is defined in the legend below.

<p>PREVIOUS PLANNING DOCUMENT</p>	<p>Documents that have been studied for general park character and historical reference. the documents are not authoritative.</p>
<p>SUBJECT MATTER SPECIFIC PLANS</p>	<p>Plans that have been identified during this study to be focused on specific or focused subject matter at the park. These plans remain relevant to future improvements at the park.</p>
<p>PARKWIDE STRATEGY PLANS</p>	<p>This master plan focuses on evaluating recommendations made by past Parkwide strategy plans. These recommendations are evaluated later in this report</p>





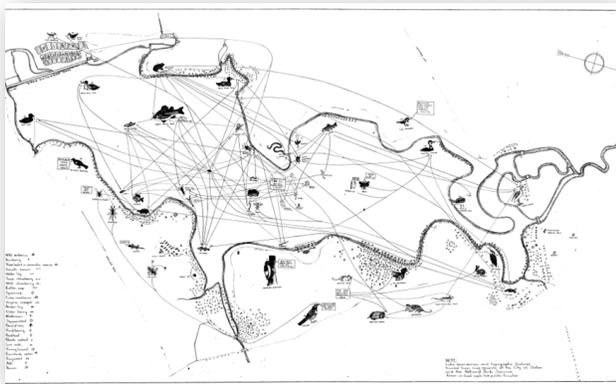
LAKE WHITE ROCK MASTER PLAN (1936)

The National Park Service, and Architect M.A. Burke, created this rendering of White Rock Lake which presents Civilian Conservation Corps projects by number and completion status. The CCC conducted park improvements at White Rock Lake from 1935 until 1942.



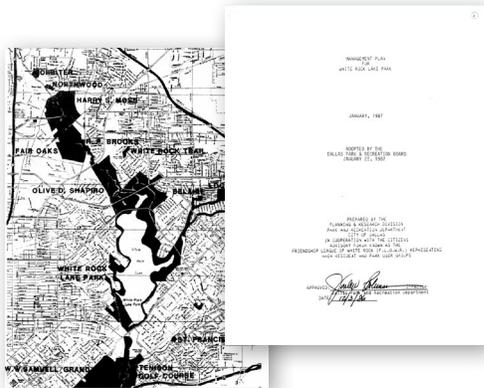
LAKE WHITE ROCK PARK MASTER PLAN (1939)

This Master Plan is an extension of the 1936 Plan but illustrates the completed and proposed CCC projects that were undergoing construction until 1942.



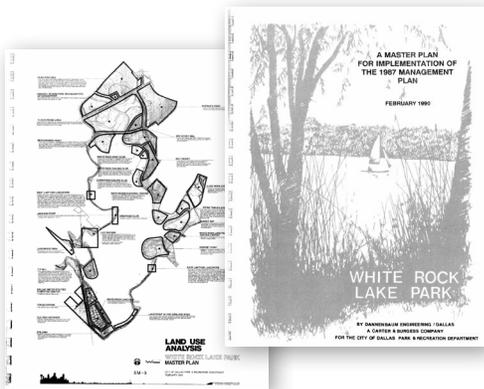
BIOLOGIC SURVEY OF WHITE ROCK LAKE (1942)

Florence Conway Houston, a Biology Student at SMU, conducted a bio-wed and food cycle diagram of the species noted during her study at White Rock Lake. This diagram illustrates the specific species found at White Rock Lake and their ecological interrelationships.



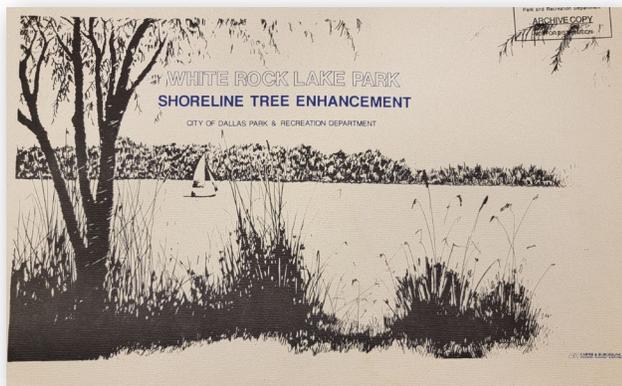
MANAGEMENT PLAN FOR WHITE ROCK LAKE (1987)

The Planning & Research Division of the Dallas Parks and Recreation Department (DPARD) created this management plan in collaboration with the 'Friendship League of White Rock'. This plan introduces White Rock Lake Park as part of the White Rock Creek Greenbelt, the influences taken into consideration for proposed management policies, and management objectives.



MASTER PLAN FOR THE IMPLEMENTATION OF THE 1987 MANAGEMENT PLAN (1990)

This plan, completed by Dannenbaum Engineering (Carter & Burgess), further studied conditions brought forth in the 1987 Management Plan with additional analysis of five functional categories: Hydrology, Vegetation and Visual Impact, Facilities and Land Use, Circulation, and Social Concerns. The plan included focus area enhancements, funding sources, and a priority summary of suggested management implementation.



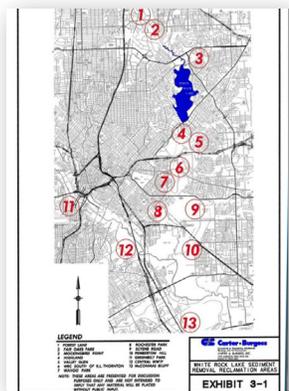
SHORELINE TREE ENHANCEMENT (1991)

Carter & Burgess produced best management practices and improvements for specific areas of the shoreline at White Rock Lake.



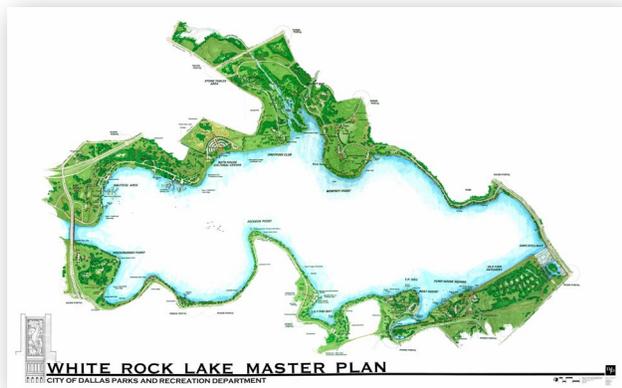
WHITE ROCK LAKE PARK DESIGN GUIDELINES (1994)

This document is the primary guiding force behind physical improvements at White Rock Lake. A Concept Plan for the Park, specific Design Guidelines, and focus area Design Concepts are illustrated here. This plan defined construction methods and specific design intent that are still being implemented today.



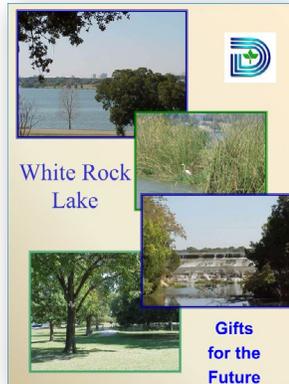
WHITE ROCK LAKE DIAGNOSTIC STUDY (1996)

This study by Carter & Burgess introduces construction best management practices (BMP's) for erosion and sediment control along White Rock Lake Shoreline. It lists management objectives, construction alternatives, and management guidelines. A dredging feasibility assessment was also conducted as part of this effort.



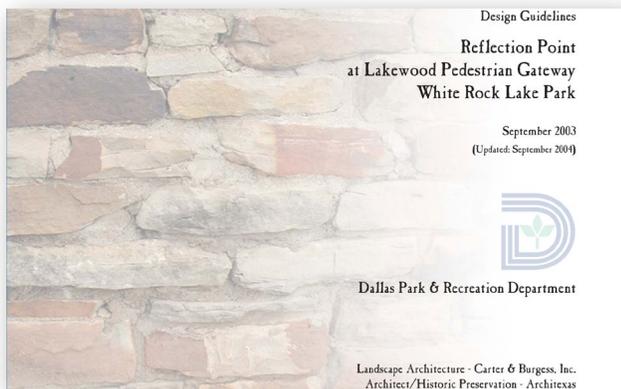
WHITE ROCK LAKE MASTER PLAN (2002)

This rendered graphic is one of the more prominent elements to define White Rock Lake Park. Illustrated by Neman Jackson Bieberstein (NJB), it provides proposed enhancements for trails, overlooks, road abandonment, art opportunities, shoreline enhancements, and entry portals. It documents existing features at the time of planning and suggested physical improvements that closely align with the 1994 WRL Design Guidelines.



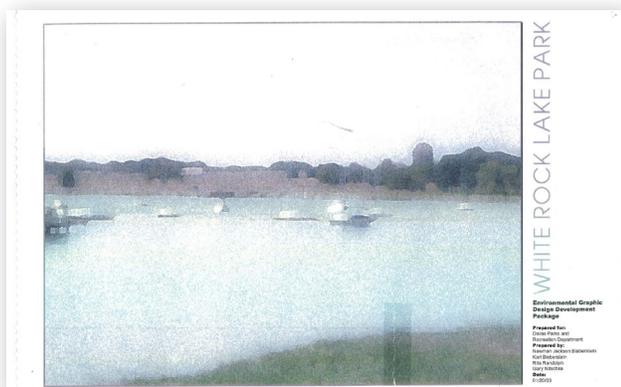
WHITE ROCK LAKE - GIFTS FOR THE FUTURE (2002)

The White Rock Lake Foundation and DPARD conducted cost estimates for phased implementation of the 2002 NJB Master Plan.



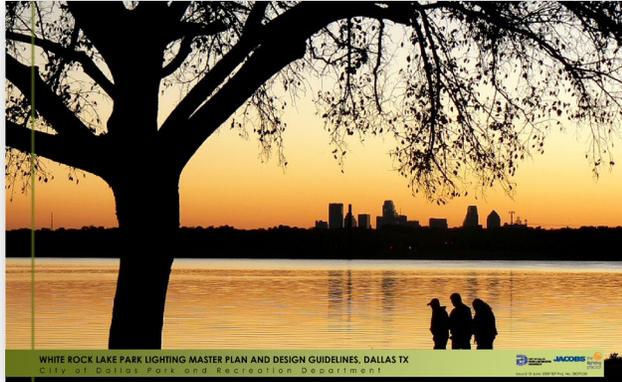
DESIGN GUIDELINES - REFLECTION POINT (2003)

The architectural elements of White Rock Lake were documented in depth within these guidelines for Reflection Point. Historic precedents and the relationship to the National Park Service's Rustic Architectural Style are defined, along with guidelines for site materials, amenities, and stone work.



ENVIRONMENTAL GRAPHIC DESIGN DEVELOPMENT PACKAGE (2003)

This set by NJB established signage standards for White Rock Lake with a unifying architectural aesthetic. Guidelines for portals, facilities, destinations, wayfinding, and site information are included in this package along with standard finishes and details.



WHITE ROCK LAKE PARK LIGHTING MASTER PLAN & DESIGN GUIDELINES (2009)

Design Criteria for fixtures, poles, and lighting options were established by these guidelines written by Jacobs (Carter & Burgess) and The Lighting Practice. Recommendations for lighting by specific Use Zones and locations for special lighting types are also included.



FLAG POLE HILL MASTER PLAN (2017)

The Flag Pole Hill Master Plan included data gathering, site analysis, program development, concept alternatives, and preliminary master planning phases before being concluded with the Final Master Plan in 2017. The final program was developed in coordination with City Staff and Leaders, as well as with the input from community members.



WHITE ROCK LAKE PARK MAINTENANCE PLAN (2022)

The Park Maintenance Operations Division of DPARD released this plan that includes site level management guidelines for maintenance operations at White Rock Lake Park. It includes maintenance guidelines for the shoreline, creek, turf, prairie areas, forestry management, site elements, and recreation zones. The document also provides an approved plant list and diagram of existing maintenance zones.

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WHITE ROCK LAKE PARK-WIDE STRATEGY

In 1986, Park Board recognized that positive actions needed to be taken to address deterioration of the resource and initiate focused planning efforts for the park:

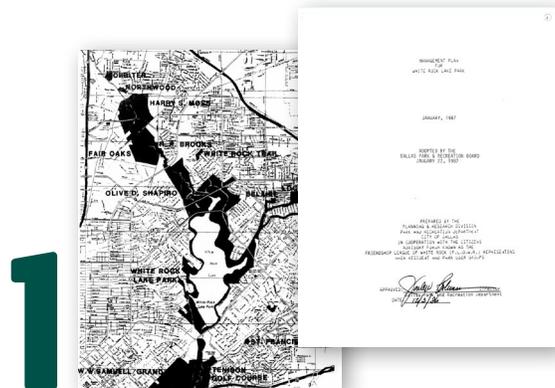
1 A management plan that identified and summarized the various influences on management of White Rock Lake Park and recommended a comprehensive management program designed to address each specific issue. This management plan was adopted by Park and Recreation Board in January of 1987.

2 A master plan for implementation was initiated in 1988 that identified and priorities specific projects that would “promote healthy, safe recreational opportunities and preserve the physical and recreational resources of White Rock Lake Park” consistent with the 1987 management plan. This implementation plan was adopted by the Park Board in February, 1990.

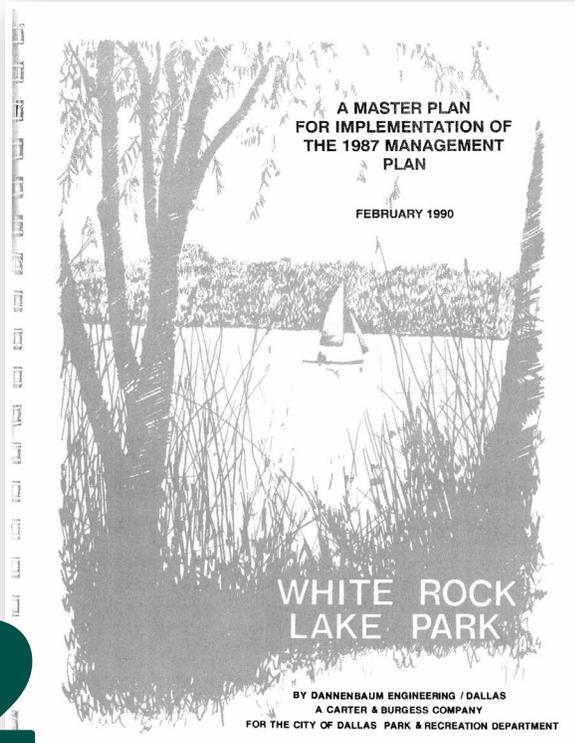
3 The third significant element of planning studies for White Rock Lake Park was the 1994 Design Guidelines. Its specific purpose is to develop a set of criteria, standards, and guidelines which define the standard for image and quality for design of all future improvements within White Rock Lake Park.

4 In 1999 an overall graphic representation of the design recommendations presented in the 1994 plan was developed by NJB.

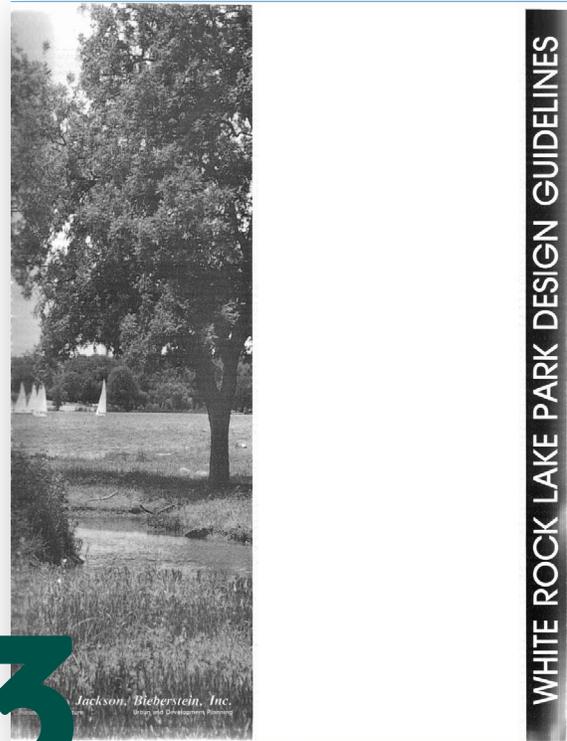
The intent of this planning effort is to create a guiding document as it relates to park-wide strategy, form, and application. Elements from previous planning efforts will be referenced and carried though as validated throughout this planning process.



2



3



4



PREVIOUS PARK-WIDE STRATEGIES

The consolidated vision requires a deeper dive into previous planning efforts. The following pages contain an analysis of previous park-wide strategy recommendations as presented in the two most recent park-wide focused plans as detailed previously. To bring these efforts together into one guiding document, recommendations are evaluated with the following criteria:

ACCOMPLISHED:

Recommendations from previous plans that have been accomplished by implemented projects, policy updates, or funded planned projects.

ONGOING:

Recommendations from previous plans that have not been accomplished by implemented projects, policy updates, or funded planned projects and remain relevant to the lake today. These recommendations remain in effect to the extent of consistency with this master plan but may require further detailed study beyond the scope of this document.

OBSOLETE:

Recommendations from previous plans that no longer remain relevant to the lake today.

In addition to park specific area recommendations, parkwide strategies also are organized in five master plan categories:

- Hydrology
- Vegetation and Visual Impact
- Facilities and Land Use
- Circulation
- Social Concerns

PARK-WIDE RECOMMENDATIONS			ACCOMPLISHED	ONGOING	OBSOLETE
PREVIOUS RECOMMENDATION:	REFERENCE PAGE				
HYDROLOGY					
1990	Sedimentation Study: identify options for controlling sediment in coordination with a White Rock Creek Study, include cost and environmental trade-offs between upstream catchment and periodic dredging, provide alternative methods of sediment control and costs (bank stabilization, catchment, velocity control, etc.).	pg. 3		●	
1990	Dredging Program: no spoil deposits in wetland areas, include methods, permitting, timing, disposal options, etc., no significant shoreline or park expansion shall occur through deposit of dredge soils, limited shoreline and park land enhancements appropriate, temporary on-site storage for drying prior to transporting deposits may be necessary.	pg. 3		●	
1990	Erosion Control Program: overall control plan and specific construction documents for high priority areas, identify and prioritize shoreline and upstream areas for mitigation, prepare plans for Garland Road and Sunset Bay shoreline, incorporate rock walls to match historical character, prepare plans for stream bank erosion control at stream outlets into the lake.	pg. 3		●	
VEGETATION AND VISUAL IMPACT					
1990	Reforestation Plan: formulated by Reforestation Task Force appointed by PARD, consider appropriate plant material and types for various locations and functions, emphasize low maintenance, adaptive species and identify preservation areas such as prairie grassland areas north of Dreyfuss Club and near Corinthian Sailing Club, and wooded floodplain areas.	pg. 4		●	
FACILITIES AND LAND USE					
1990	Architectural Study: preservation guidelines for White Rock buildings and structures, maintenance guidelines.	pg. 6	●	●	
1990	Signage, Graphics, and Park Furniture Plan: consistent park image, simplify circulation and make it safer, standardize park furniture to unify image and reduce maintenance costs, consistent informational and regulatory signage for roadway and trails.	pg. 6	●	●	
1990	Replace all deteriorated park furniture and equipment with new standardized types.	pg. 6		●	
1990	Replace Fishing Piers with durable piers and provide handrails.	pg. 6		●	
1990	Install Benches, Fountains, and Bike Racks along Trail System	pg. 6		●	
1990	Establish fish habitat areas at each fishing pier.	pg. 7		●	
1990	Establish a PARD Tree Farm to support reforestation plan - not located at White Rock Lake Park.	pg. 7		●	
CIRCULATION					
1990	Consolidate parking areas into small parking lots at major and minor picnic areas to enhance patrol conditions.	pg. 8	●	●	
1990	Provide improved surfaces for maintenance reduction such as concrete pavers, and environmentally sensitive edge treatment, for pedestrian and cyclist surfaces.	pg. 9	●	●	
1990	Remove all other parking other than consolidated areas.	pg. 9		●	
1990	Maintain East and West Lawther permanent circulation patterns.	pg. 9	●	●	
1990	Secure off-site tracts of land for over-flow parking during peak use times.	pg. 9		●	
1990	Study Primary User Groups at the Park: Study to determine appropriate primary user groups to identify noise pollution problems and over use of the park.	pg. 10		●	
1990	Noise Impact Study: Study effects of noise pollution at White Rock Lake Park.	pg. 10		●	
EXISTING CONDITIONS ANALYSIS					
1994	Street Lighting along West and East Lawther.	pg. 97	●	●	
1994	Sunset Bay and Northern Area to remain undisturbed.	pg. 97		●	

PREVIOUS RECOMMENDATIONS BY SITE



FLAG POLE HILL:			ACCOMPLISHED	ONGOING	OBSOLETE
PREVIOUS RECOMMENDATION:		REFERENCE PAGE			
VEGETATION AND VISUAL IMPACT					
1990	Landscape improvements in conjunction with the overlook area.	pg. 4	●		
1990	Reforestation of the entry roads to Flag Pole Hill.	pg. 4		●	
FACILITIES AND LAND USE					
1990	Design and construct overlook area and improve as landmark.	pg. 7	●		
1990	Add a major play structure.	pg. 7	●		
1990	Consolidate picnic areas, provide major picnic area.	pg. 7	●		
CIRCULATION					
1990	Provide overflow parking at Flag Pole Hill during peak usage until provision of off-site tracts of land can substitute.	pg. 9	●		
1990	Consolidate parking.	pg. 9	●		
1994 DESIGN CONCEPTS					
1994	Remove existing flagpole and substitute raised platform to create new viewing point above Cedars. Columns should match existing stone pilasters and rail. Provide circular stair access to viewing platform. Provide new flagpole with lights at the top of the platform columns. Include a park orientation map inlaid on observation deck floor and fixed binoculars for use.	pg. 92		●	
1994	Preserve existing WPA stone work and horizontal cedar rails.	pg. 93	●	●	
1994	Existing gravel surface at the hill top and wide step treads should remain.	pg. 93	●	●	
1994	Pave existing gravel parking area and incorporate entry walk to new "Hillside Playground". Utilize existing topography and provide three picnic groupings.	pg. 94	●		
1994	Provide loop walk at the base of cedars along hillside with park benches.	pg. 94	●		
1994	Provide accessible walks to the hill top, and special stone picnic tables at hill top.	pg. 94	●		



NATURAL AREA:			ACCOMPLISHED	ONGOING	OBSOLETE
PREVIOUS RECOMMENDATION:		REFERENCE PAGE			
FACILITIES AND LAND USE					
1990	Preserve canopy and plant material per reforestation recommendations.	pg.4		●	
VEGETATION AND VISUAL IMPACT					
1990	Mockingbird & Northwest Highway Wildlife Management Program	pg. 15		●	



MOCKINGBIRD POINT:			ACCOMPLISHED	ONGOING	OBSOLETE
PREVIOUS RECOMMENDATION:		REFERENCE PAGE			
VEGETATION AND VISUAL IMPACT					
1990	Restrict placement of view obstructing elements on the bridge unless required by state/ federal standards.	pg. 5		●	
1990	Reforestation in conjunction with the picnic improvements recommended for this area.	pg. 5		●	
FACILITIES AND LAND USE					
1990	Establish wildlife management program for this area.	pg. 7		●	
1990	Consolidate picnic areas, provide major picnic area.	pg. 7		●	
1990	Develop as a major picnic area.	pg. 8		●	
CIRCULATION					
1990	Consolidate parking.	pg. 9		●	
1990	Relocate trail from Mockingbird Bridge to separate trail bridge.	pg. 9	●		



BOY SCOUT HILL:			ACCOMPLISHED	ONGOING	OBSOLETE
PREVIOUS RECOMMENDATION:		REFERENCE PAGE			
VEGETATION AND VISUAL IMPACT					
1990	Reforestation around picnic shelters.	pg. 4		●	
1990	Reforestation of East Lawther entry roads from Mockingbird Lane.	pg. 4		●	
1990	Wildflower plantings on slopes at Boy Scout Hill.	pg. 4		●	
FACILITIES AND LAND USE					
1990	Consolidate picnic areas, provide minor picnic area.	pg. 7	●		
1990	Improve parking lot surfaces near picnic shelters.	pg. 8	●	●	
CIRCULATION					
1990	Consolidate parking.	pg. 9	●		



BUCKNER BOULEVARD:			ACCOMPLISHED	ONGOING	OBSOLETE
PREVIOUS RECOMMENDATION:		REFERENCE PAGE			
VEGETATION AND VISUAL IMPACT					
1990	Reforestation between Poppy Drive and Lake Highlands Drive on the West Side.	pg. 4		●	
1990	Landscape enhancements at Buckner and Lake Highlands entrance.	pg. 6		●	
CIRCULATION					
1990	Edge lake extension from Buckner Boulevard to East Lawther.	pg. 9		●	



WEST LAWTHER DRIVE:			ACCOMPLISHED	ONGOING	OBSOLETE
PREVIOUS RECOMMENDATION:		REFERENCE PAGE			
VEGETATION AND VISUAL IMPACT					
1990	Reforestation along shoreline.	pg. 5		●	
1990	Landscape enhancements at White Rock Road and West Lawther entrance.	pg. 6		●	
CIRCULATION					
1994	Consolidate parking between Mockingbird point and Jackson point.	pg. 9	●		
1994	Consolidate parking at boat loading ramp.	pg. 9	●	●	
1990	Widen West Lawther for Bicyclists	pg. 16		●	
1990	Maintain Existing West Lawther Circulation	pg. 16	●		
1994 EXISTING CONDITIONS ANALYSIS					



JACKSON POINT:			ACCOMPLISHED	ONGOING	OBSOLETE
PREVIOUS RECOMMENDATION:		REFERENCE PAGE			
VEGETATION AND VISUAL IMPACT					
1990	Reforestation along shoreline.	pg. 5		●	
CIRCULATION					
1990	Consolidate parking.	pg. 9	●		



LILY PAD BAY:			ACCOMPLISHED	ONGOING	OBSOLETE
PREVIOUS RECOMMENDATION:		REFERENCE PAGE			
VEGETATION AND VISUAL IMPACT					
1990	Lily Pad Bay Reforestation	pg. 14		●	
1990	Wildflower planting area.	pg. 5		●	
FACILITIES AND LAND USE					
1990	Consolidate picnic areas, provide minor picnic area.	pg. 7		●	
CIRCULATION					
1990	Consolidate parking.	pg. 9		●	



NAUTICAL AREA:			ACCOMPLISHED	ONGOING	OBSOLETE
PREVIOUS RECOMMENDATION:		REFERENCE PAGE			
VEGETATION AND VISUAL IMPACT					
1990	Preserve canopy and plant material per reforestation recommendations.	pg.4		●	
1990	Reforestation along shoreline.	pg. 4		●	
FACILITIES AND LAND USE					
1990	Add parking lot lighting improvements.	pg. 8		●	
CIRCULATION					
1990	Consolidate parking.	pg. 9		●	



BIG THICKET:			ACCOMPLISHED	ONGOING	OBSOLETE
PREVIOUS RECOMMENDATION:		REFERENCE PAGE			
FACILITIES AND LAND USE					
1990	Consolidate picnic areas, provide minor picnic area.	pg. 7		●	
CIRCULATION					
1990	Consolidate parking.	pg. 9		●	



STONE TABLES:			ACCOMPLISHED	ONGOING	OBSOLETE
PREVIOUS RECOMMENDATION:		REFERENCE PAGE			
FACILITIES AND LAND USE					
1990	Consolidate picnic areas, provide minor picnic area.	pg. 7	●		
CIRCULATION					
1990	Consolidate parking.	pg. 9		●	
1994 DESIGN CONCEPTS					
1994	Walking surfaces and areas around tables, pavilion, and restrooms should be improved with decomposed granite.	pg. 82	●		
1994	Relocate gravel parking north of pavilion away from residential areas to Lawther Drive south of pavilion.	pg. 82		●	
1994	Add planting buffers to screen picnic area east of Lake Highlands Road to screen from neighboring residences.	pg. 82		●	
1994	Utilize "seahorse window tracery" for design elements throughout the park.	pg. 82		●	
1994	Screen Dixon Branch Lift Station from Buckner Boulevard, Lawther Drive, and lake trail views.	pg. 82		●	



T.P. HILL:			ACCOMPLISHED	ONGOING	OBSOLETE
PREVIOUS RECOMMENDATION:		REFERENCE PAGE			
VEGETATION AND VISUAL IMPACT					
1990	Reforestation of the shelter, parking, and picnic areas.	pg. 5		●	
FACILITIES AND LAND USE					
1990	Consolidate picnic areas, provide major picnic area.	pg. 7		●	
CIRCULATION					
1990	Consolidate parking.	pg. 9		●	
1994 DESIGN CONCEPTS					
1994	Relocate parking off West Lawther Drive to north of Boat House.	pg. 89	●	●	
1994	Provide new picnic groupings east of peninsular ridge line with tree groves.	pg. 89		●	
1994	Redevelop playground adjacent to picnic areas and sink into ridge line to provide controlled edges and views.	pg. 89	●		



DREYFUSS POINT:			ACCOMPLISHED	ONGOING	OBSOLETE
PREVIOUS RECOMMENDATION:		REFERENCE PAGE			
VEGETATION AND VISUAL IMPACT					
1990	Preserve canopy and plant material per reforestation recommendations.	pg.4		●	
1990	Landscape enhancements around the building.	pg. 4			●
1990	Reforestation of general area.	pg. 4		●	
FACILITIES AND LAND USE					
1990	Consolidate picnic areas, provide minor picnic area.	pg. 7		●	
CIRCULATION					
1990	Consolidate parking.	pg. 9		●	
1994 EXISTING CONDITIONS ANALYSIS					
1994	Shoreline stabilization.	pg. 96		●	
1994 DESIGN CONCEPTS					
1994	Removal of existing parking east of Dreyfuss Club footprint, recommending circular drop-off area at entry.	pg. 80			●
1994	New parking area east of Dreyfuss Club footprint.	pg. 81			●
1994	Eliminate service drive and reduce parking to single loaded against southern retaining wall.	pg. 81			●
1994	Three new picnic areas along lake shore.	pg. 81		●	
1994	Architectural enhancements.	pg. 82		●	●



BATH HOUSE CULTURAL CENTER:			ACCOMPLISHED	ONGOING	OBSOLETE
PREVIOUS RECOMMENDATION:		REFERENCE PAGE			
VEGETATION AND VISUAL IMPACT					
1990	Reforestation of parking lot.	pg. 6		●	
1990	Landscape enhancements around the Bath House.	pg. 6	●		
1990	Reforestation along shoreline.	pg. 6		●	
FACILITIES AND LAND USE					
1990	Consolidate picnic areas, provide minor picnic area.	pg. 7	●		
CIRCULATION					
1990	Consolidate parking.	pg. 9	●		
1994 EXISTING CONDITIONS ANALYSIS					
1994	Picnic areas around Bath House Cultural Center.	pg. 98	●		
1994	Redevelopment of swim beach and removal of diving platforms.	pg. 98			●
1994 DESIGN CONCEPTS					
1994	New Stone Identification Signage.	pg. 77	●		
1994	Street and Shade Tree Plantings.	pg. 77		●	
1994	Additional Picnic Areas.	pg. 77	●		
1994	Shoreline plantings.	pg. 77	●		
1994	Road realignment and simplified approach to building entry.	pg. 78		●	
1994	Paving, public art, and landscape enhancements at vehicular oval drive.	pg. 78		●	
1994	New "Skyline Performing Arts" Amphitheater on lake. (400-500 seats)	pg. 78			●
1994	New Interpretive Prairie Museum, north of Bath House Cultural Center. (environmental exhibit)	pg. 79		●	



SUNSET BAY:			ACCOMPLISHED	ONGOING	OBSOLETE
PREVIOUS RECOMMENDATION:		REFERENCE PAGE			
HYDROLOGY					
1990	Prepare plans for shoreline erosion control.	pg. 3		●	
FACILITIES AND LAND USE					
1990	Remove and prohibit soccer fields in this sensitive area.	pg. 7	●		
1990	Establish wildlife management program for this area.	pg. 7		●	
1990	Add a neighborhood play structure at the Park Service Center.	pg. 7		●	
1990	Add restroom facilities at the Park Service Center.	pg. 7		●	
1990	Add parking to accommodate activities at the Park Service Center.	pg. 7		●	
CIRCULATION					
1990	Consolidate parking.	pg. 9		●	
1994 DESIGN CONCEPTS					
1994	Enhance entrance from Lawther Drive with identification signage and views.	pg. 82		●	
1994	Enhance plant and wildlife habitats.	pg. 82		●	
1994	Create "Hidden Lagoon" with wildlife views, earth colored stained concrete paths and boardwalks that can be easily maintained in the flood prone area.	pg. 82			●
1994	Provide trails across creek and into wetlands with identification signage attached to the handrails along boardwalks. Provide bird watching platforms and roosting boxes to support wildlife.	pg. 83		●	



WINFREY POINT:			ACCOMPLISHED	ONGOING	OBSOLETE
PREVIOUS RECOMMENDATION:		REFERENCE PAGE			
1990	Reforestation of picnic area.	pg. 4		●	
VEGETATION AND VISUAL IMPACT					
1990	Landscape enhancements around rental facility.	pg. 4		●	
1990	Wildflower plantings on slopes around rental facility.	pg. 4		●	
FACILITIES AND LAND USE					
1990	Consolidate picnic areas, provide major picnic area.	pg. 7		●	
1990	Upgrade baseball fields.	pg. 7		●	
CIRCULATION					
1990	Consolidate parking.	pg. 9		●	
1994 EXISTING CONDITIONS ANALYSIS					
1994	Realignment of Entry Roads.	pg. 96		●	
1994	Alternative edge control and circulation dividers installed.	pg. 96		●	
1994 DESIGN CONCEPTS					
1994	Provide a new parking area east of building.	pg. 83		●	
1994	Provide a new playground area that is recessed into existing grade.	pg. 83		●	
1994	Improve southern entry to building and oval drop-off area.	pg. 83		●	
1994	Widen drive and eliminate inner curb.	pg. 83		●	
1994	Plant Street, Shade, and Ornamental Trees to reinforce views and formality of space.	pg. 83		●	
1994	Create grass sunning terraces with stone retaining walls for multi-use functions.	pg. 83			●
1994	Eliminate lake side loop drive below building.	pg. 83	●	●	
1994	Realign main access drive to provide more direct vehicular access and provide parking at intersections.	pg. 83	●	●	
1994	Provide identification signage at intersections and street trees to strengthen vehicular approach.	pg. 83		●	
1994	Site picnic groupings along lake edge and by new lake trail (previous loop drive).	pg. 83	●		
1994	Provide two new pavilions near each parking area.	pg. 83		●	
1994	Visually separate the ballfields from the rental facility with tree masses.	pg. 83		●	
1994	Relocate western ballfield to the southeast for realigned entry road.	pg. 84		●	
1994	Designate additional wildflower and prairie zones along lake edge and trail.	pg. 84		●	



EAST LAWTHER DRIVE:			ACCOMPLISHED	ONGOING	OBSOLETE
PREVIOUS RECOMMENDATION:		REFERENCE PAGE			
VEGETATION AND VISUAL IMPACT					
1990	Reforestation along East Lawther shoreline.	pg. 4		●	
CIRCULATION					
1990	Maintain Existing East Lawther Loop System	pg. 16		●	
1990	Widen East Lawther for Bicyclists	pg. 16		●	
1990	No Arboretum entrance/exit from East Lawther.	pg. 8	●		
1990	Redirect Emerald Isle for two-way traffic from Garland Road to Winfrey Point.	pg. 9	●		
1990	Improve sail boat loading ramp on East Lawther.	pg. 9		●	
1990	Maintain portion of parking lots along East Lawther between Garland Road and Winfrey Point.	pg. 9			●
1994 EXISTING CONDITIONS ANALYSIS					
1994	Parking located along east side of East Lawther Drive to eliminate pedestrian conflicts.	pg. 97	●		
1994 DESIGN CONCEPTS					
1994	Periodic head in parking between lake and Dallas Arboretum.	pg. 84	●		
1994	Maintain one-way inbound circulation but relocate parking east of road.	pg. 84	●		
1994	Locate lake trail between the drive and lake edge. Passive functions along lake edge.	pg. 84	●		



GARLAND ROAD:			ACCOMPLISHED	ONGOING	OBSOLETE
PREVIOUS RECOMMENDATION:		REFERENCE PAGE			
HYDROLOGY					
1990	Prepare plans for shoreline erosion control.	pg. 3		●	
VEGETATION AND VISUAL IMPACT					
1990	Landscape enhancements to East Lawther and Garland Road entrance.	pg. 4		●	
1990	Garland Road Reforestation	pg. 14		●	



SPILLWAY & DAM:			ACCOMPLISHED	ONGOING	OBSOLETE
PREVIOUS RECOMMENDATION:		REFERENCE PAGE			
VEGETATION AND VISUAL IMPACT					
1990	Determine a solution to the graffiti which could incorporate one of the following: semi-annual wall painting to cover graffiti, possible mural painting which blends with surroundings, barrier installation to prohibit access to the dam.	pg. 5	●	●	
FACILITIES AND LAND USE					
1990	General cleanup of trash and debris on a regular basis.	pg. 7		●	
1990	Black vinyl chain link fence installation.	pg. 7	●		
1990	Reforestation and landscape improvements around the spillway parking area.	pg. 7		●	
1990	Landscape improvements at Winsted and Garland Road.	pg. 7	●		
1990	Consolidate picnic areas, provide minor picnic area.	pg. 7	●		
CIRCULATION					
1990	Consolidate parking.	pg. 9	●	●	
1994 DESIGN CONCEPTS					
1994	Preserve views from north bound Garland Road.	pg. 85		●	
1994	Relocate parking area to city land east of Garland Road, southeast of San Raphael intersection.	pg. 85			●
1994	Buffer parking from existing residences and provide access walk using existing signaled intersections. Provide new sunken overlooks along walk.	pg. 85	●		
1994	Reduce height of existing retaining wall to provide new overlooks and lake trail sunken below Garland Road.	pg. 85	●	●	
1994	Provide grass berms to screen views of observation areas and lake trail from Garland Road.	pg. 86	●	●	
1994	Provide four raised observation points on each corner of dam area.	pg. 86	●		
1994	Enhance water weir on spillway.	pg. 86	●		
1994	Widen existing pilot channels on spillway to include entire width and provide random cuts to provide a natural, less structured appearance.	pg. 86		●	
1994	Reduce height of tall graffiti retaining wall and slope back to existing grade. Provide appropriate erosion control base and views at this sloped lawn area.	pg. 87		●	
1994	Provide "Spillway Overlook" at eastern end of dam above spillway 4'-5' above dam and provide circular step access down below lake level.	pg. 87	●	●	
1994	Opportunity for public art installations.	pg. 87		●	
1994	Provide access from new "Spillway Overlook" to Fish Hatchery Trail.	pg. 87		●	
1994	Provide stone enhancements to existing metal bicycle racks and pedestrian bridge.	pg. 88			●
1994	Provide low stone identification signage and walls at corner of Winstead and Garland Road.	pg. 88		●	
1994	Expand and improve parking area southwest of spillway.	pg. 88	●	●	
1994	Provide access to western edge of spillway near existing pedestrian bridge. Include new trails and bridge connection to two islands at base of spillway.	pg. 88	●		
1994	Extend western paths northward into natural limestone elevated platform.	pg. 88	●	●	



OLD FISH HATCHERY:			ACCOMPLISHED	ONGOING	OBSOLETE
PREVIOUS RECOMMENDATION:		REFERENCE PAGE			
VEGETATION AND VISUAL IMPACT					
1990	Black vinyl chain link fence around area which permits wildlife migration.	pg. 5	●		
1990	Border shrubbery to buffer perimeter fencing.	pg. 5		●	
FACILITIES AND LAND USE					
1990	Old Fish Hatchery Environmental Study: identify unique environments, flora, and fauna, make recommendations concerning its use as a nature study center, appropriate interpretive methods and signage, establish wildlife management program, determine appropriate enclosure to control public access while allowing wildlife migration.	pg. 6		●	
1994 DESIGN CONCEPTS					
1994	Provide pedestrian entrance to Old Fish Hatchery.	pg. 88	●		

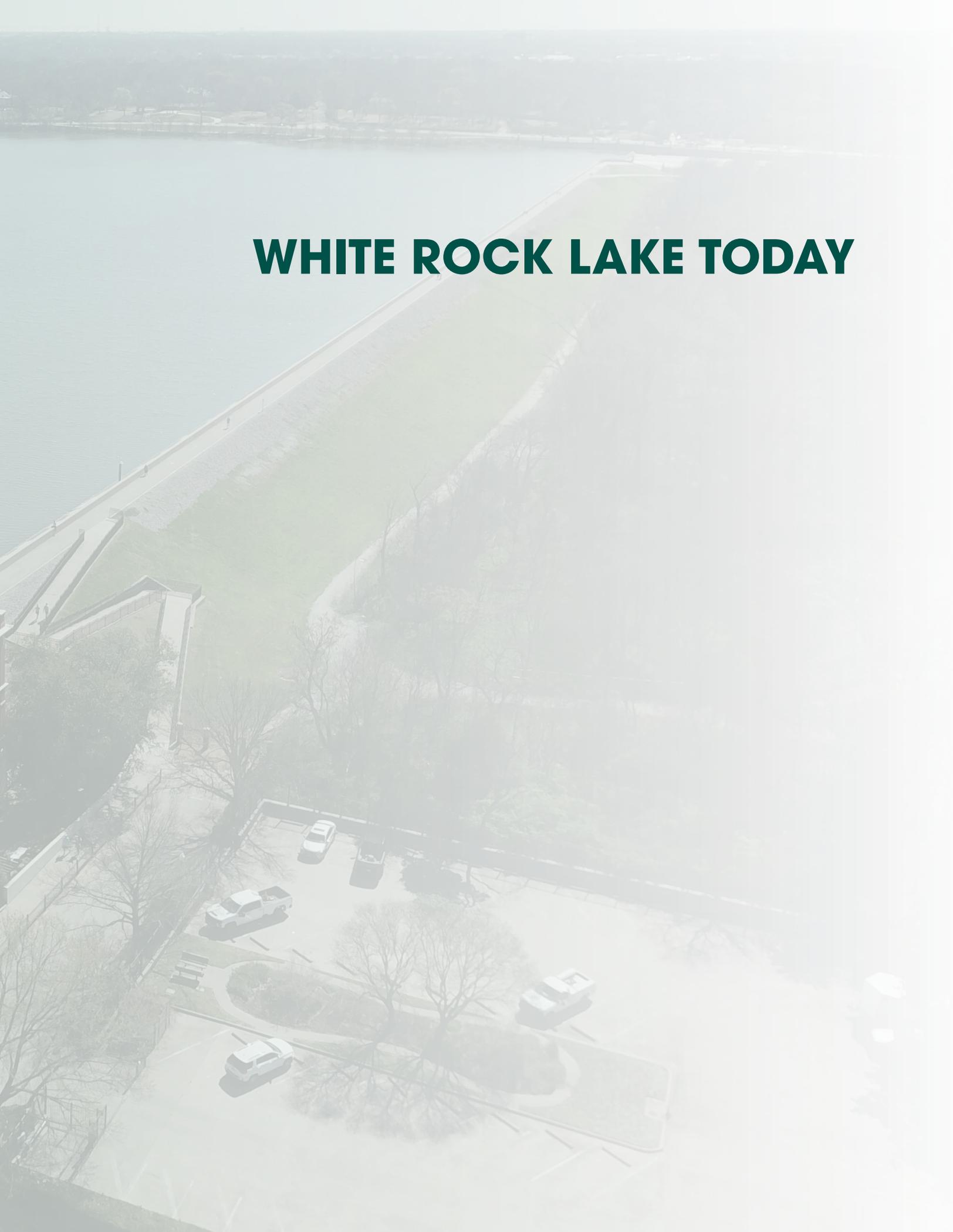


PUMP HOUSE SQUARE:			ACCOMPLISHED	ONGOING	OBSOLETE
PREVIOUS RECOMMENDATION:		REFERENCE PAGE			
VEGETATION AND VISUAL IMPACT					
1990	Coordinate reforestation program with Dallas Water Utilities Department reforestation program.	pg. 5		●	
1990	Screen existing utilities with plant material.	pg. 5		●	
CIRCULATION					
1990	Consolidate parking.	pg. 9		●	
1994 DESIGN CONCEPTS					
1994	Provide rental picnic area west of historic pump station in previous water purification area.	pg. 89			●
1994	Define grass picnic area with architectural colonnade that recalls details of Bath House Cultural Center and picnic alcoves.	pg. 90	●	●	
1994	Provide identification signage along trails. (Exhibit 18)	pg. 90	●	●	
1994	Multi-Use lawn area provided for sand volleyball and other recreation activities.	pg. 91		●	
1994	Provide two overlook areas at each end of colonnade and "secret path" on lower level of lake edge with minor sitting areas.	pg. 91	●		
1994	Provide 3 picnic shelters west of Pump House Square and 2 new parking areas. Connect to Square with walks.	pg. 91		●	
1994	Refurbish existing fishing pier.	pg. 91	●	●	
1994	Locate lake trail west of park facilities and connect to refurbished pedestrian bridge that crosses lagoon.	pg. 91	●		
1994	Access road off Lawther Drive should be relocated west, around electrical substation and terminating at new parking areas.	pg. 91		●	
1994	Move intersection of access road and Lowther Drive southwest to provide safer T intersection.	pg. 92		●	
1994	Lengthen existing trestle to provide safer egress to park and minimize quantity of structural columns.	pg. 92			●

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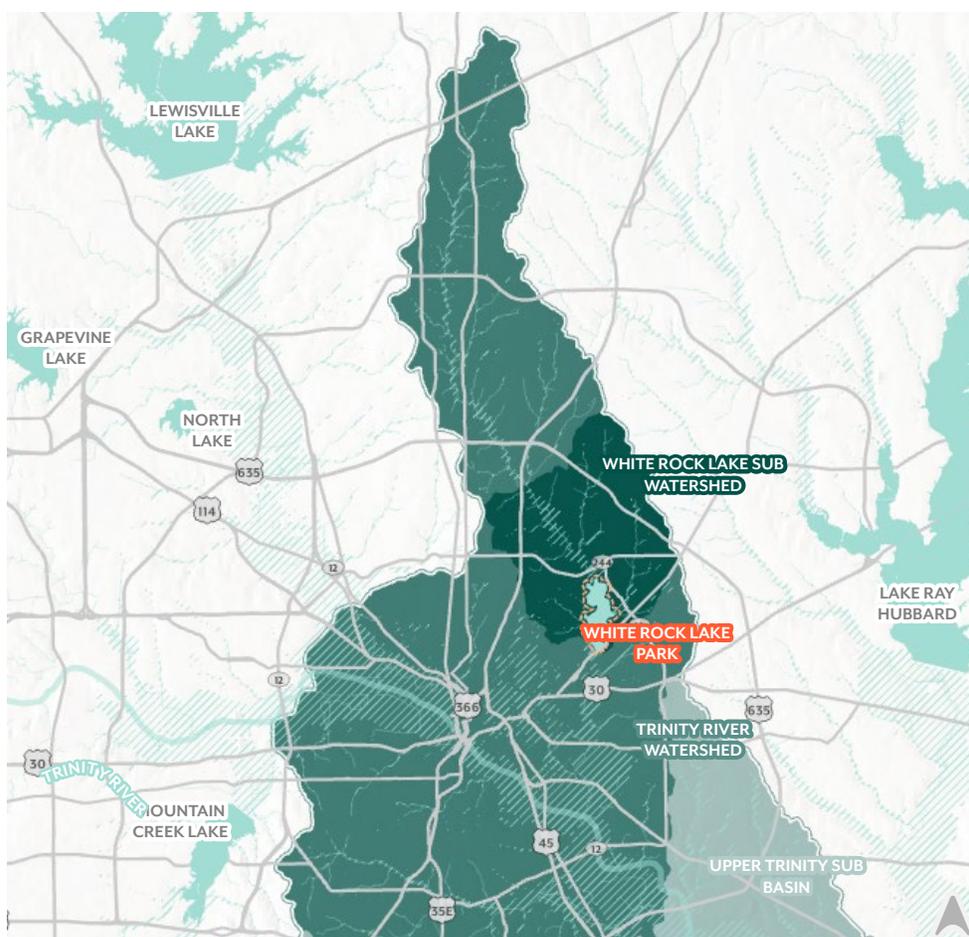
WHITE ROCK LAKE TODAY



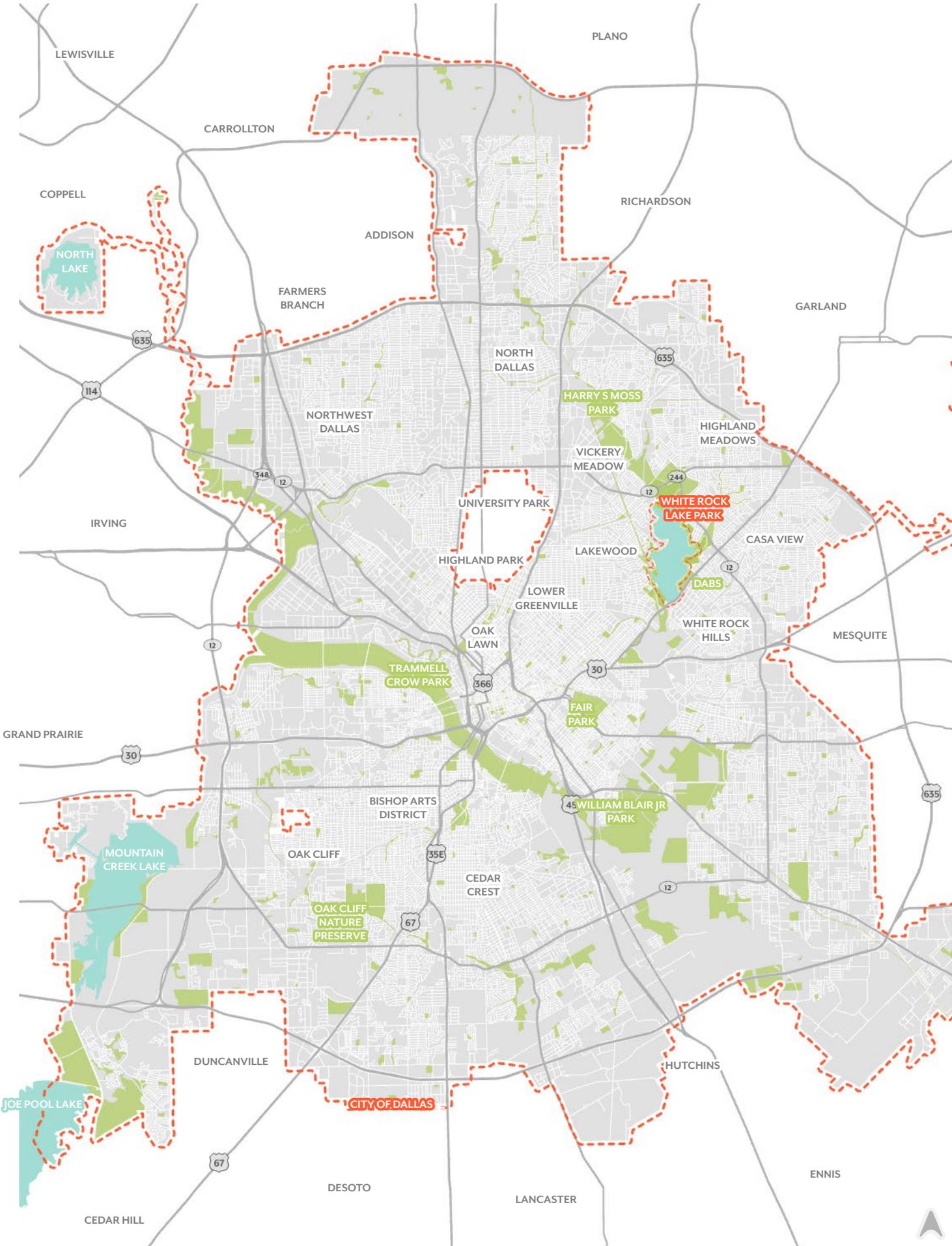
SITE CONTEXT

White Rock Lake is situated within the Upper Trinity River Sub-basin and Trinity River Watershed of the Texas-Gulf Region in northeast Dallas. The lake itself collects water from the White Rock Creek Sub-watershed; the creek flows into the northern portion of White Rock Lake, and a spillway and dam control the release of waters in the south-west corner. The Lake was originally constructed in 1911 as a reservoir and covers approximately 1,015 acres.

White Rock Lake Park is surrounded by residential neighborhoods such as Lakewood, Forest Hills, and Lake Highlands. The park is predominately accessible by Northwest Highway and Mockingbird Lane to the north, Buckner Boulevard and East Lawther Drive to the East, Garland Road to the south, and West Lawther Drive along the western side of the lake. Pedestrians and cyclists have access to amenities at White Rock Lake directly through the SoPac, Santa Fe, and White Rock Creek trails, which provide access to the greater Dallas trail system. .



The development North of White Rock Lake, has significantly impacted the lake's ecosystem, particularly through increased siltation. As construction projects and urban expansion continue, the disturbance of soil and vegetation leads to higher levels of sediment being washed into the lake during rainfall. This siltation process not only reduces the water quality but also affects the aquatic habitats and recreational value of the lake. Efforts to address these issues include proposed master plans focusing on erosion control, shoreline restoration, and sustainable development practices to mitigate further environmental degradation.



SITE INVENTORY

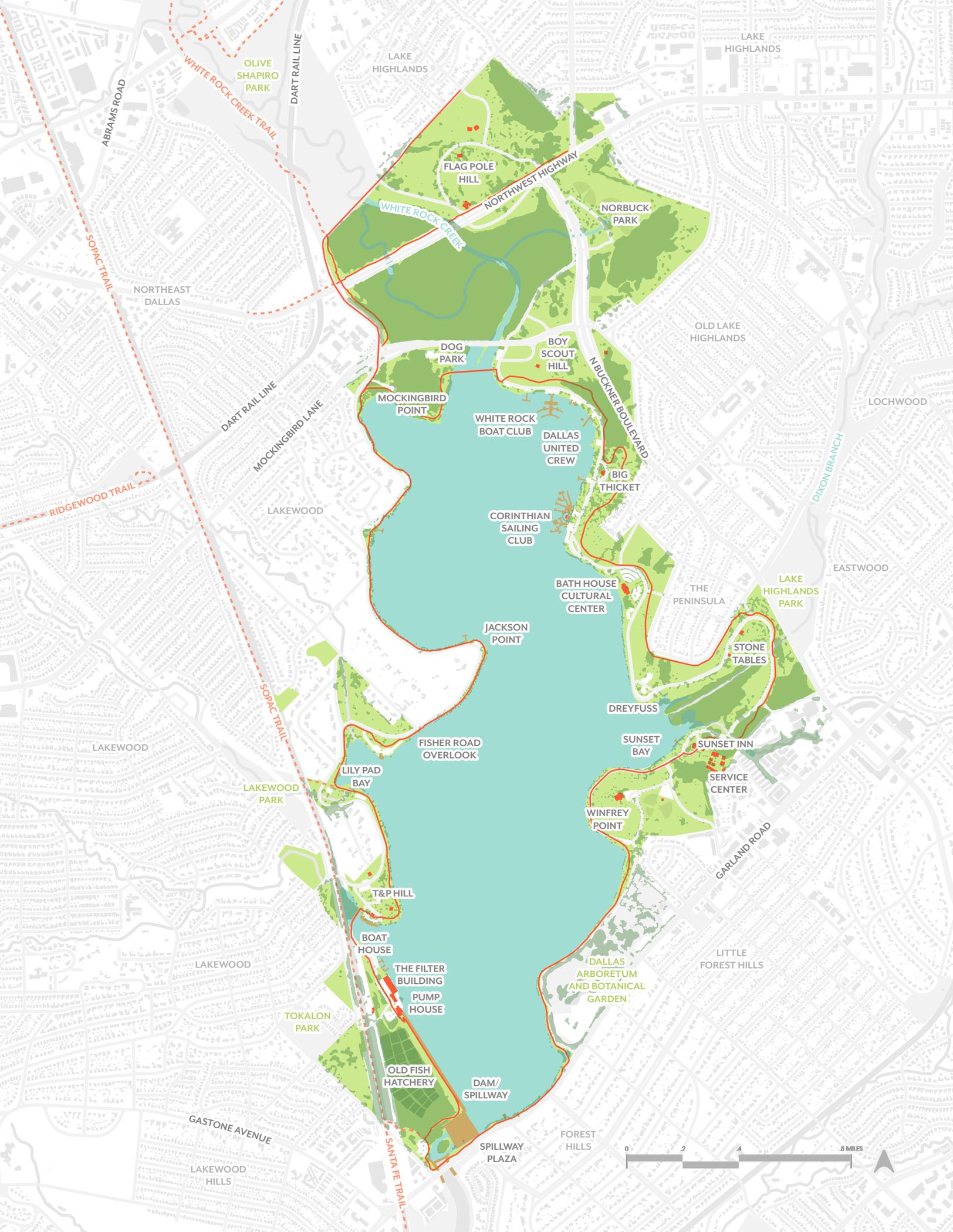
White Rock Lake Park encompasses about 700 acres of diverse landscapes, including grassy meadows, wooded areas, and wetlands. This extensive parkland is home to a variety of wildlife, making it a popular spot for birdwatching and nature photography. The park's facilities cater to a wide range of interests, with numerous picnic areas, five playgrounds, and multiple baseball and softball fields located in the park. Additionally, the Bath House Cultural Center, located within the park, offers cultural and arts programming, further enriching the community's engagement with the natural surroundings.

The lake provides numerous opportunities for boating with sailboats, kayaks, rowing, and paddle boarding. Four Boat Clubs are located within the park on White Rock Lake including: White Rock Boat Club, Dallas United Crew, Corinthian Sailing Club, and the White Rock Rowing Club. Three boat ramps and multiple fishing piers are also located around the lake for public use. At the time of this master plan, a third-party vendor is operating a kayak and paddle board rental service at the northern side of the lake.

Although Lawther Drive extends on both sides of White Rock Lake Park, it's important to note that it does not fully encompass the Lake. West Lawther Drive currently ends at the DWU Pump Station and East Lawther Drive is permanently closed from the Bath House to Dreyfuss and, to a lesser defined extent, at Winfrey Point.

Efforts are continuously being made to preserve and enhance the ecological integrity of White Rock Lake and its surrounding park. Conservation initiatives aim to maintain water quality, protect native flora and fauna, and promote sustainable recreational use. Community involvement is pivotal in these endeavors, with local organizations and volunteers actively participating in cleanup events and ecological restoration projects. As a result, White Rock Lake and White Rock Lake Park continue to thrive as integral parts of Dallas's urban landscape, offering residents and visitors alike a place to connect with nature and enjoy outdoor activities year-round.





ABRAMS ROAD

WHITE ROCK CREEK TRAIL

OLIVE SHAPIRO PARK

DART RAIL LINE

LAKE HIGHLANDS

FLAG POLE HILL

NORTHWEST HIGHWAY

NORBUCK PARK

LAKE HIGHLANDS

NORTHEAST DALLAS

DART RAIL LINE

MOCKINGBIRD LANE

DOG PARK

BOY SCOUT HILL

OLD LAKE HIGHLANDS

MOCKINGBIRD POINT

WHITE ROCK BOAT CLUB

DALLAS UNITED CREW

LOCHWOOD

RIDGEWOOD TRAIL

LAKEWOOD

CORINTHIAN SAILING CLUB

BIG THicket

DIXON BRANCH

BATH HOUSE CULTURAL CENTER

THE PENINSULA

LAKE HIGHLANDS PARK

EASTWOOD

JACKSON POINT

STONE TABLES

DREYFUSS

LAKEWOOD

FISHER ROAD OVERLOOK

SUNSET BAY

SUNSET INN

SERVICE CENTER

LAKEWOOD PARK

LILY PAD BAY

WINFREY POINT

GARLAND ROAD

T&P HILL

BOAT HOUSE

THE FILTER BUILDING PUMP HOUSE

DALLAS ARBORETUM AND BOTANICAL GARDEN

LITTLE FOREST HILLS

TOKALON PARK

OLD FISH HATCHERY

DAM/SPILLWAY

FOREST HILLS

GASTONE AVENUE

SPILLWAY PLAZA

0 0.2 0.4 0.8 MILES

LAKEWOOD HILLS

OPPORTUNITIES & CONSTRAINTS

As a result of initial site visits to White Rock Lake Park, stakeholder input, and notes from community engagement, the following lists of programmatic elements were recorded as potential opportunities and constraints for each unique zone within the park.

1. FLAG POLE HILL

- Continued improvements based on Master Plan
- Playground expansion
- Future Lake office/visitor’s center
- Continued special programming
- Open Space
- Historic structures
- Adjacent Neighborhoods
- Northwest Highway

2. NATURAL AREA

- Enhanced Paddle Trail
- Trash/Siltation mitigation
- Preserved natural space
- Navigable water/ Lake Access
- Creek outlet pollution
- Northwest Highway
- Mockingbird Lane

3. MOCKINGBIRD POINT

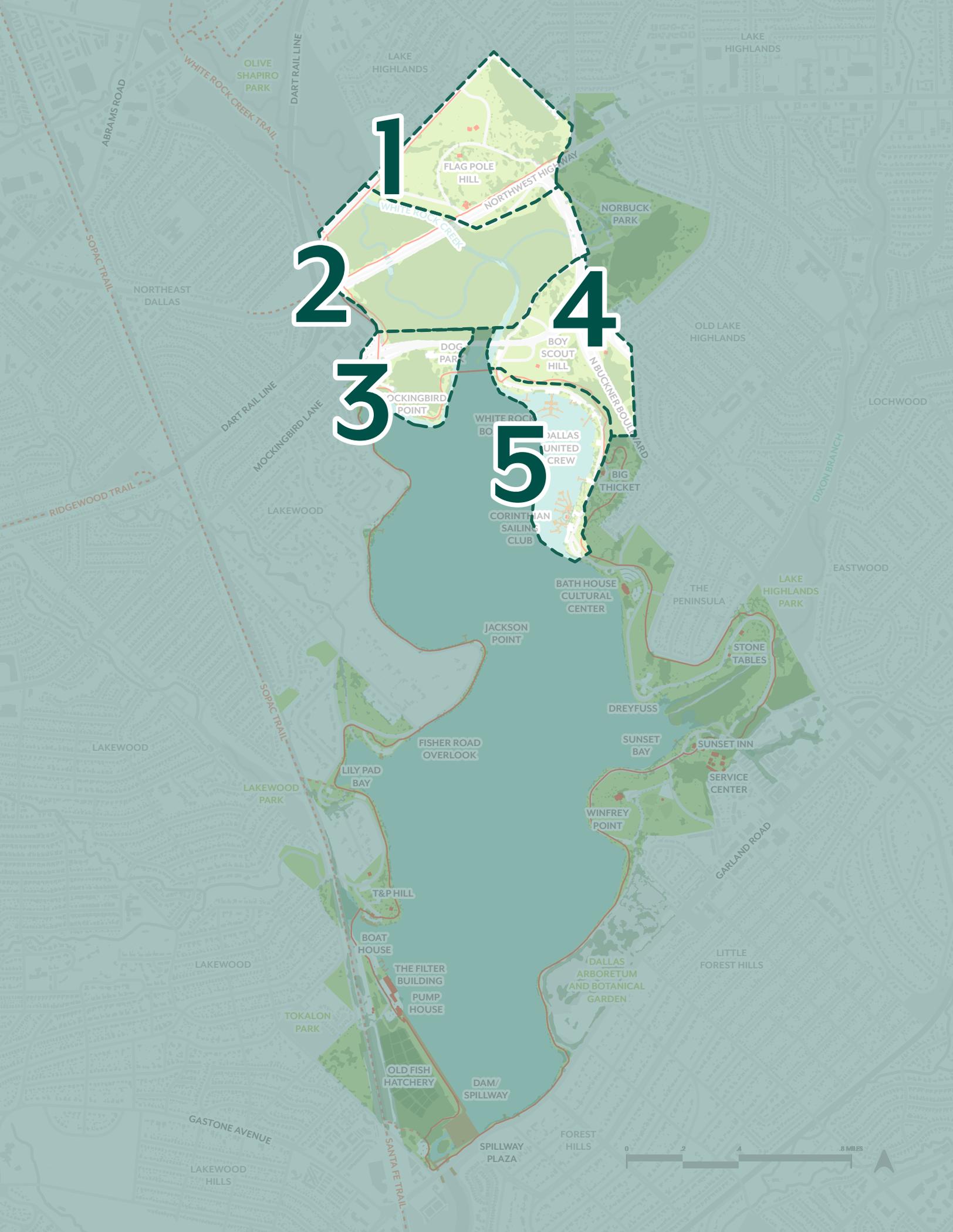
- Parking upgrades
- Dog Park surface upgrades
- Overlook at point
- Boardwalk/Platform
- Shoreline erosion
- Wildlife signage
- Pedestrian bridge approach
- Natural wooded areas
- Mockingbird Lane
- West Lawther Drive

4. BOY SCOUT HILL

- Organize & Enhance Parking
- Pathway connections
- Prairie ecosystem
- Park gateway
- Mockingbird Lane
- East Lawther Drive
- East Lawther Trail

5. NAUTICAL AREA

- Organize & enhance parking
- Organized trail alignments
- Roadway edge treatments
- Reclamation of green space from inefficient parking
- Restore public boat ramps
- Pedestrian bridge approach/overpass
- Multiple vehicular/pedestrian conflicts
- Varied surfaces for vehicular circulation
- Roadway adjacency to shoreline
- East Lawther Drive
- East Lawther Trail
- Boy Scout Hill
- Shoreline Erosion
- Boat Clubs



1
2
3
4
5

ABRAMS ROAD
SOPAC TRAIL
WHITE ROCK CREEK TRAIL
DART RAIL LINE
OLIVE SHAPIRO PARK
LAKE HIGHLANDS
FLAG POLE HILL
NORTHWEST HIGHWAY
NORBUCK PARK
NORtheast DALLAS
MOCKINGBIRD LANE
DOG PARK
BOY SCOUT HILL
BOCKINGBIRD POINT
WHITE ROCK BO...
DALLAS UNITED CREW
CORINTHIAN SAILING CLUB
BIG THICKET
N BUCKNER BOULEVARD
LAKEWOOD
CORINTHIAN SAILING CLUB
BATH HOUSE CULTURAL CENTER
THE PENINSULA
LAKE HIGHLANDS PARK
STONE TABLES
JACKSON POINT
DREYFUSS
SUNSET BAY
SUNSET INN
SERVICE CENTER
GARLAND ROAD
LAKWOOD
FISHER ROAD OVERLOOK
LILY PAD BAY
T&P HILL
BOAT HOUSE
THE FILTER BUILDING
PUMP HOUSE
TOKALON PARK
OLD FISH HATCHERY
DAM/ SPILLWAY
SPILLWAY PLAZA
FOREST HILLS
DALLAS ARBORETUM AND BOTANICAL GARDEN
LITTLE FOREST HILLS
LAKEWOOD
LAKEWOOD HILLS
GASTONE AVENUE



6. BIG THICKET

- Building restoration
- Restroom upgrades for access
- Parking lot surface upgrades
- Reclamation of green space from inefficient parking
- Rent-able facility
- Waterfront views
- Picnic areas
- Boat Ramp
- Fishing pier
- Parking areas
- Historic structure
- East Lawther Drive
- East Lawther Trail
- Shoreline Erosion

7. BATH HOUSE

- Parking lot surface upgrades
- Context sensitive road sections
- Engage shoreline
- Reclamation of green space from inefficient parking
- Multi-use facility
- Waterfront access & views
- Historic structure
- East Lawther Drive
- East Lawther Trail
- Shoreline
- Peninsula Neighborhood

8. DREYFUSS POINT

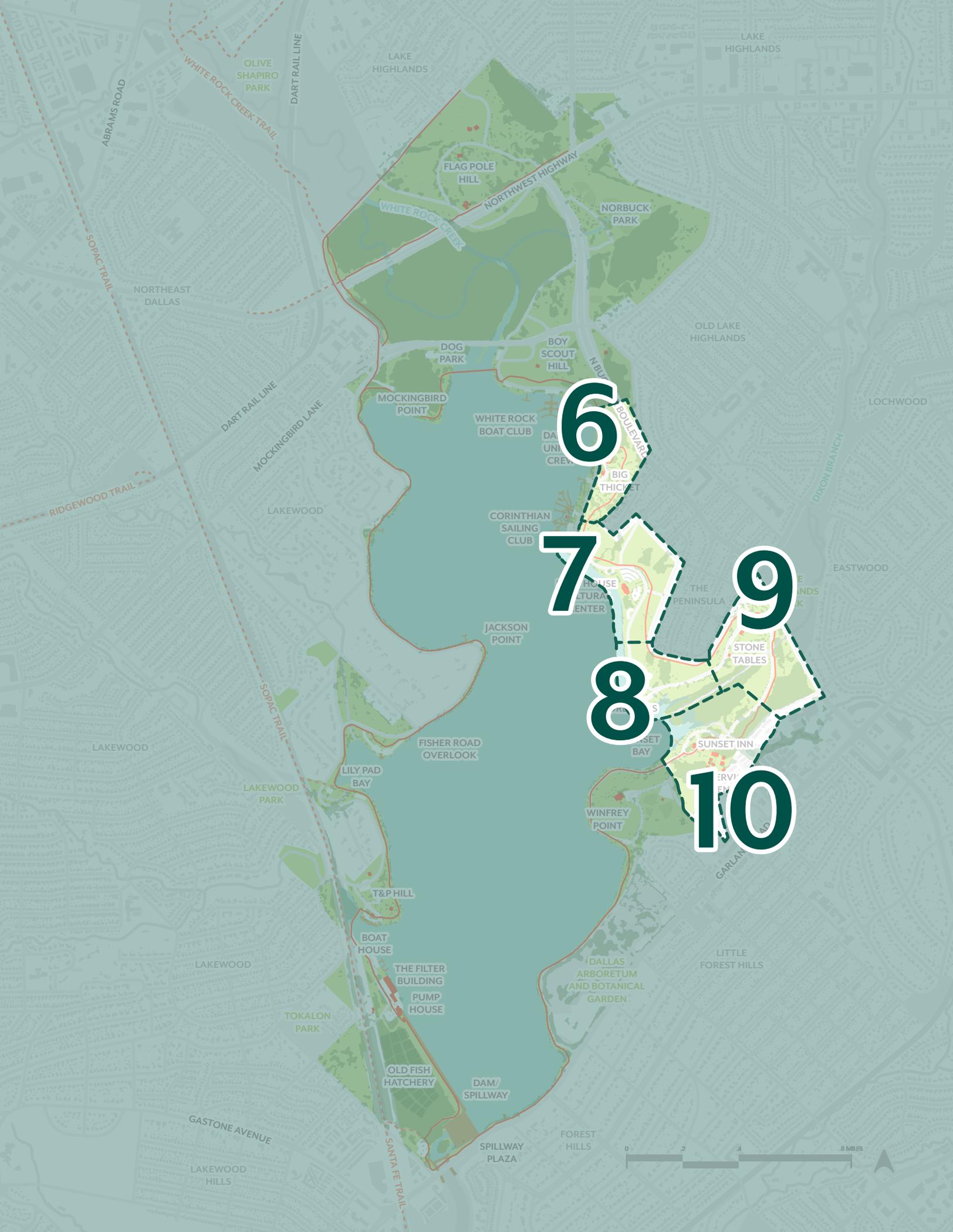
- Potential building replacement
- Outdoor pavilion
- Downtown overlook
- Organize & enhance parking
- Trail/road transition
- Isolated site
- Downtown views
- Waterfront access & views
- East Lawther Drive
- East Lawther Trail
- Shoreline
- Peninsula Neighborhood

9. STONE TABLES AREA

- Playground replacement
- Continued momentum on recent enhancements
- Restroom upgrades
- Organize & enhance parking
- A park within a park
- Natural areas
- Reforestation efforts
- Dixon Branch
- Historic precedent of multi-use building/facility
- East Lawther Drive
- East Lawther Trail
- Shoreline
- Dixon Branch

10. SUNSET BAY

- Reconfigure trail/road/parking
- Renovation/preservation of Caretakers House
- Renovation/preservation of Sunset Inn (explore Park supportive uses)
- Restroom upgrades
- Parking consolidation
- White Rock Lake Park Service Center (explore uses & future park potential)
- Fishing pier upgrades
- Historic structures
- Seasonal migratory birds
- CCC statue
- Rent-able venue
- Picnic areas
- Trailhead parking
- Trail/road/parking conflicts
- Lake/siltation remediation
- Invasive shoreline vegetation
- East Lawther Drive
- East Lawther Trail
- Shoreline
- Peninsula Neighborhood



6

7

8

9

10



11. WINFREY POINT

- Parking lot upgrades & re-organization
- Focused Master Plan for Winfrey Point
- Downtown & Lake Views
- Natural areas/Blackland prairie
- Historic structure
- Rent-able venue
- Group gathering space
- Parking areas
- Multi-use facility
- Trailhead parking
- East Lawther Drive
- East Lawther Trail
- Shoreline
- Emerald Isle Drive

12. EAST LAWATHER DRIVE

- Trail use
- Picnic areas
- Lake Shoreline
- Dallas Arboretum and Botanical Gardens
- Narrow Park Width
- Lake Shoreline

13. GARLAND ROAD

- Board walk/ Observation Pier
- Adjacency to Spillway
- Overlooks
- Trail Connections
- Garland Road
- Shoreline Erosion
- Small Land Area

14. DAM/SPILLWAY

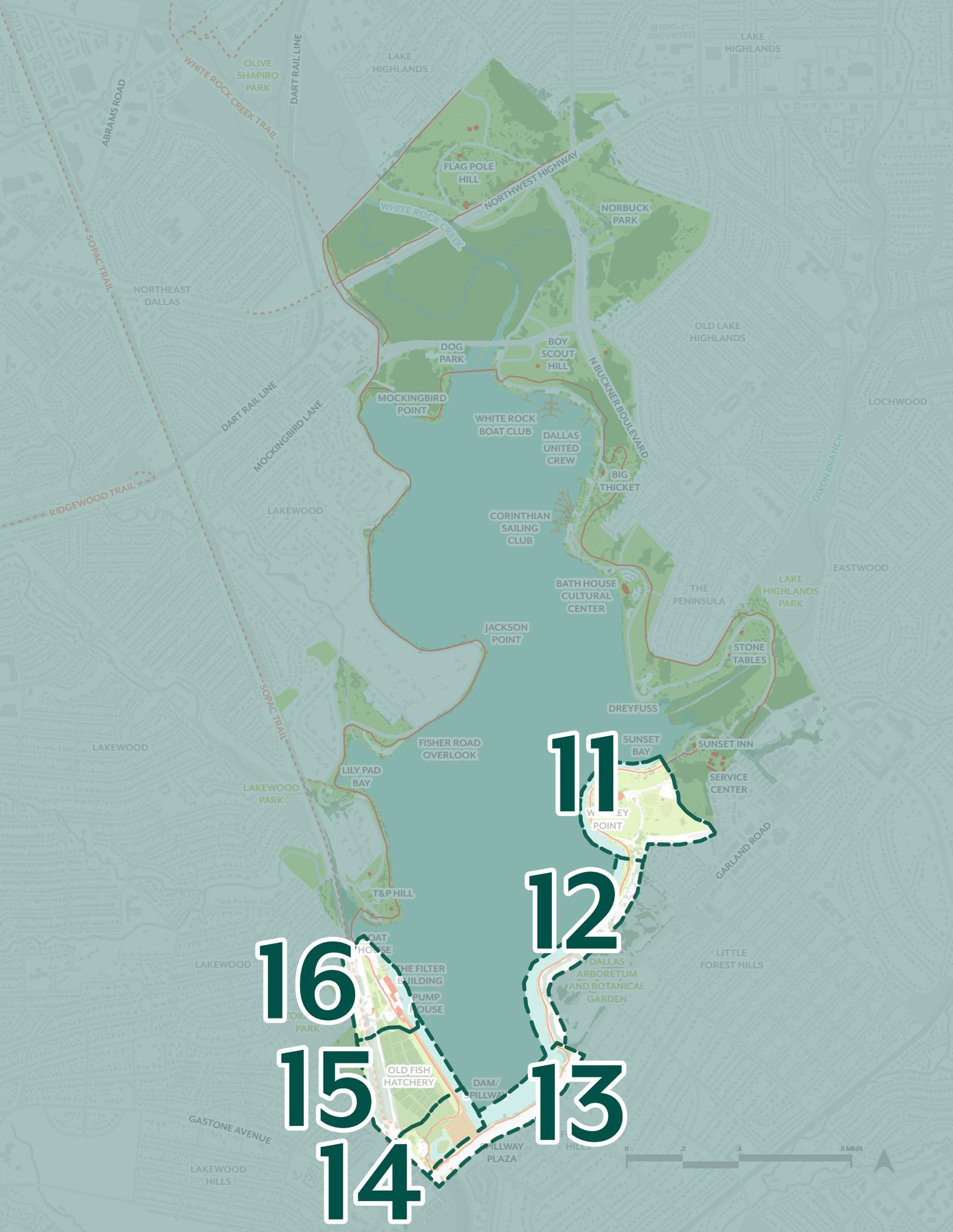
- Park gateway at Garland Road & Winstead Drive
- Spillway Views
- Regional landmark
- Overlooks
- Parking areas
- Trailhead parking
- Trail user conflicts at spillway bridge & parking areas
- Garland Road
- Winstead Drive

15. OLD FISH HATCHERY

- Pedestrian only access
- Audubon society partnership
- Historic use as fish hatchery
- Natural area
- Parakeets & other unique urban birds
- Preserved Natural area
- Educational/interpretive areas
- Spillway/Dam
- WRL Trail
- Limited visibility/security

16. PUMP HOUSE SQUARE

- Signage
- Trail alignment options
- Pump house/Pedestrian overpass
- Multi-use facilities
- Civic uses
- Historic structures
- Landmark features (pump house/ smoke stack)
- Overlooks
- Parking areas
- Boating/paddlesports access
- Winstead Dr
- Spillway/dam
- White Rock Lake Trail
- TXU facilities
- DWU facilities



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17. T.P. HILL

- Parking lot upgrades (lighting)
- Trail alignment/circulation study (previous vs new)
- Trail connections to parking lot
- Boathouse preservation
- Playground upgrades
- Trash interceptor at creek
- Lake views
- Boomerang Boathouse
- Boating access
- West Lawther Drive

18. LILY PAD BAY

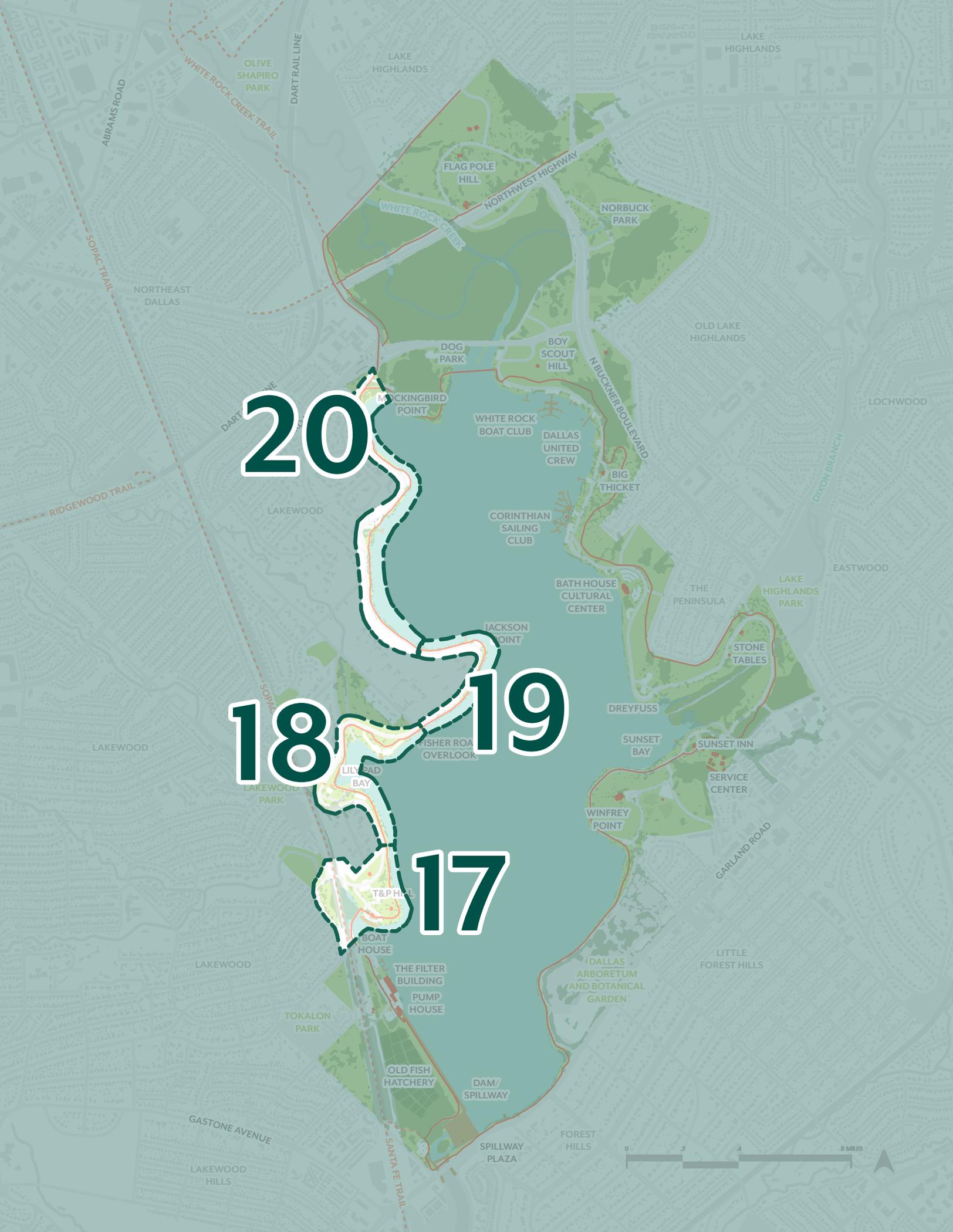
- Reconfiguration of parking spaces/ boat/trailer parking (North Lot)
- Replacement and reconfiguration of parking (South Lot)
- Signage
- Trail alignment options
- Creek Inlets
- Vegetation
- Adjacent Open Space
- Parking areas
- Boating access
- Creek outlet pollution
- West Lawther
- White Rock Lake Trail

19. JACKSON POINT

- Reforestation
- Shoreline Restoration
- Lake views
- Navigation point
- Parking areas
- Fishing Pier
- Shoreline Erosion
- West Lawther
- White Rock Lake Trail

20. WEST LAWATHER NORTH

- Reforestation
- Shoreline restoration
- Active lakeside
- Parking areas
- Trail
- Creek outlet pollution
- Shoreline Erosion
- West Lawther
- White Rock Lake Trail



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18 19

17

COMMUNITY SURVEY

The community engagement process began in early 2024 with an online survey created by the Project Team and Dallas Parks and Recreation. The online survey contained six questions, four multiple choice and ranking style, and two open ended response fields. Constituents were asked how often they visited the park, what activities they prioritized, their concerns regarding restoration, and if they participated in any organized group activity at White Rock Lake Park. The following two pages summarize the 615 responses received from the online survey.

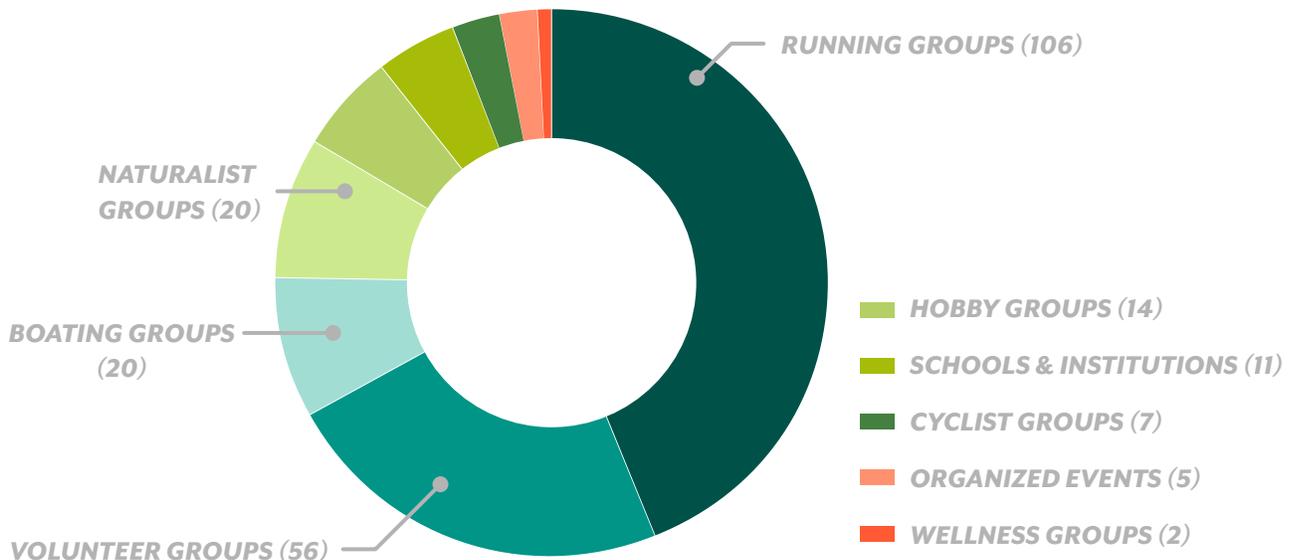
This data was important for prioritizing areas of improvement and to ultimately rank proposed program elements that would originate from the open response fields and later open house engagement sessions.

LIST OF ORGANIZED GROUPS AT WHITE ROCK LAKE:

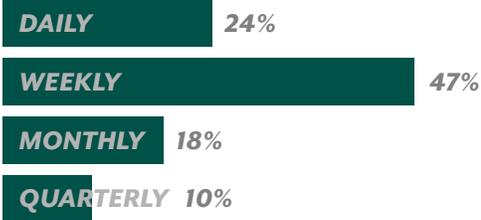
When asked about visiting the park with an organized group, respondents cited affiliations such as community organizations, school groups, and recreational clubs, reflecting the park’s role in group activities.

GROUPS	RESPONDENTS	GROUPS	RESPONDENTS
Dallas Running Club	90	The White Rock Lake Foundation	4
For The Love of The Lake	26	White Rock Lake Task Force	4
North Texas Master Naturalists	13	Friends of White Rock Lake	3
Scouts (Boy, Girl, Cub)	10	Run with Shriley/Luke’s Locker	3
Bath House Cultural Center	5	White Rock Lake Conserancy	3
Corinthian Sailing Club	5	Native Prairie Association of Texas	2
White Rock lake Boat Club	5	White Rock Running Co-Op	2
White Rock Lake Rowing	5		

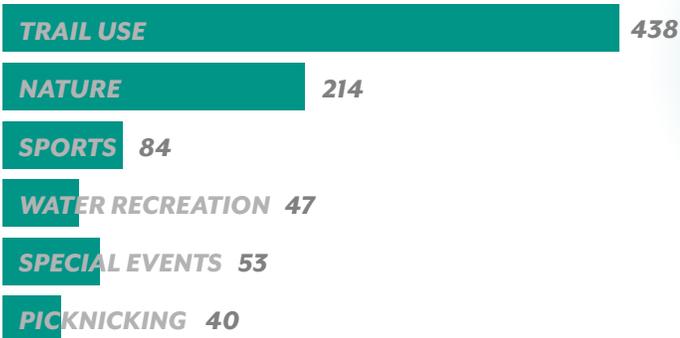
DISTRIBUTION OF RESPONSES BY ORGANIZED GROUPS:



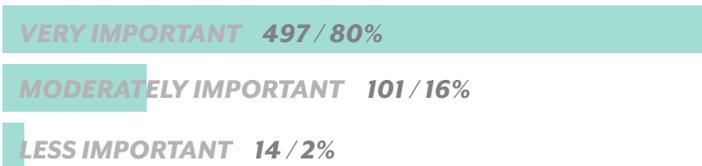
HOW OFTEN DO YOU VISIT WHITE ROCK LAKE PARK?



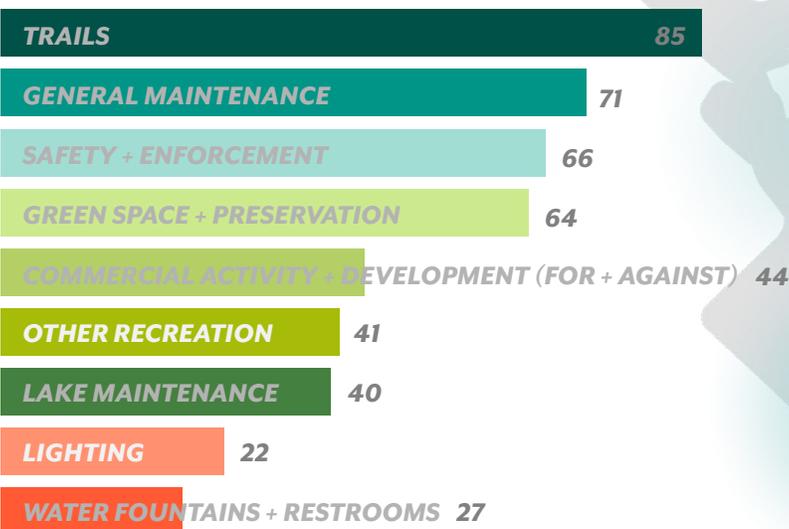
WHICH PARK ACTIVITY IS YOUR FIRST PRIORITY AT THE PARK?



HOW IMPORTANT IS RESTORATION + MAINTENANCE OF PARK ELEMENTS?



OPEN RESPONSES CONCERNS



OPEN RESPONSE FEEDBACK DENSITY



COMMUNITY ENGAGEMENT

A prominent element of developing the 2025 Master Plan and Design Guidelines were the numerous open houses and engagement sessions to gather feedback from the community and key stakeholders. Before the Conceptual Development Phase, an online survey and eight community and stakeholder meetings were held to obtain citizen input on the desired goals, program items, and improvements for the park. The input gathered through stakeholder meetings and community feedback was analyzed to refine the written program that summarizes the goals and priorities for the updated Master Plan.

During the Conceptual Development phase, three community open houses were held to review the Concept Plan and initial programming potential improvements to White Rock Lake Park. These meetings are visualized with the graphics at right. Consensus obtained from community input during the data gathering and conceptual phases directly influenced the final Master Plan, proposed improvements, and refined Design Guidelines.

Attendees at these meetings included many user groups: neighborhood residents, volunteer groups, park board members, and agency officials. This cross-section of attendees well represented the different types of user groups that utilize White Rock Lake Park.





1 July 18, 2023 | 6 PM
Winfrey Point

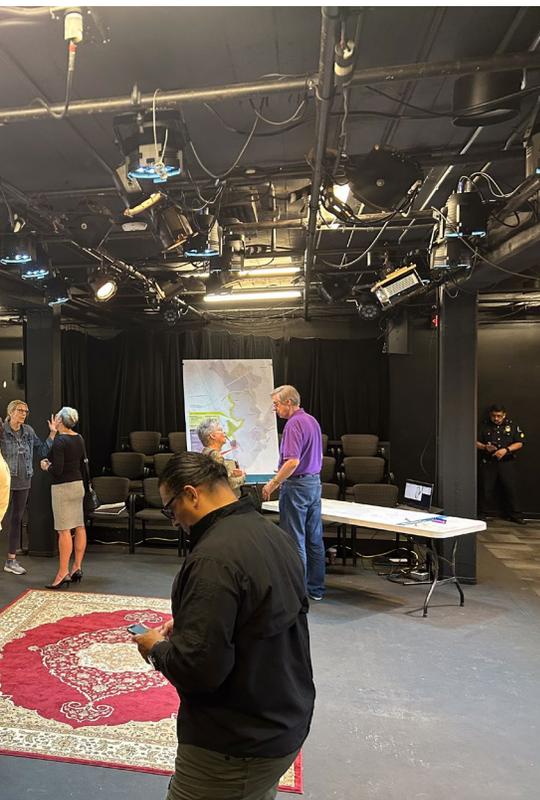
57
ATTENDEES

2 November 6, 2023 | 6 PM
Bath House Cultural Center

58
ATTENDEES

3 March 4, 2024 | 6 PM
Winfrey Point

38
ATTENDEES



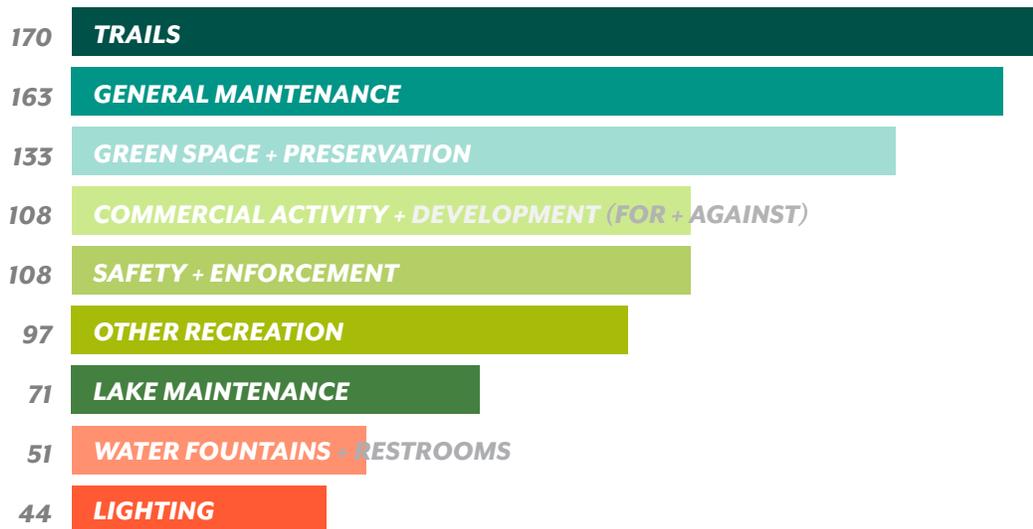
COMMUNITY FEEDBACK COMPOSITE

Input was gathered through the online survey, open house events, write in questionnaires, and during stakeholder meetings. A composite of this input was created and organized per focus area and improvement type. Common themes derived from this input are illustrated at right.

Many users were primarily concerned with maintenance of the lake and park grounds. Mitigation of the pollution entering the lake through White Rock Creek, Williamson Branch, and Dixon Branch were common concerns discussed. Many users were also interested in an updated Dredging and Feasibility Study, although there were also users who desired to limit the area of dredge to protect perceived wildlife habitat. Further studies of the ecology, wildlife, and dredge feasibility would be needed to provide in depth recommendation for these concerns. However, guidelines for lake edge control and shoreline vegetation are recommended within this Master Plan to provide potential solutions for shoreline maintenance and appearance. The 2022 Maintenance Plan is also referenced within this document as it pertains to general park upkeep.

Protection of the park’s natural habitat and native prairie areas were secondary concerns for most users. This concern was shared by trail and naturalist users who benefit largely from the views and wildlife that accompany these natural areas. Strategic trail additions, specific maintenance guidelines, and further study of the ecological benefits at White Rock Lake help to provide quantifiable metrics for protection of natural areas within the park.

Security and Lighting were also among the primary concerns voiced by the community. Specifically, providing adequate lighting in parking areas, along trails, and at points of interest - playgrounds, Bath House, Dog Park, and similar amenities. Improving the visibility also increases the safety and accessibility of the park. Specific Lighting recommendations are made in the 2011 Lighting Master Plan.



COMPOSITE FEEDBACK DENSITY MAP



COMMON THEMES

MAINTENANCE + LAKE EDGE CONTROL

The majority of attendees were concerned with lake maintenance and the condition of the lake's shoreline. Park Users recommended **dredging feasibility studies, lake edge restoration, and pollution control measures.**

PRESERVATION + RESTORATION

White Rock Lake's vistas and natural ecologies were important to multiple user groups. **Preservation** of the prairie and natural areas, **protection of habitat** for urban wildlife, and specific studies of the existing ecological functions were recommendations we heard.

SECURITY + SAFETY

Access was important for trail users and park maintenance staff alike. Staff recommended **controlled access** points for specific parking areas, while trail users recommended additional **lighting, visibility, and rest stops.**

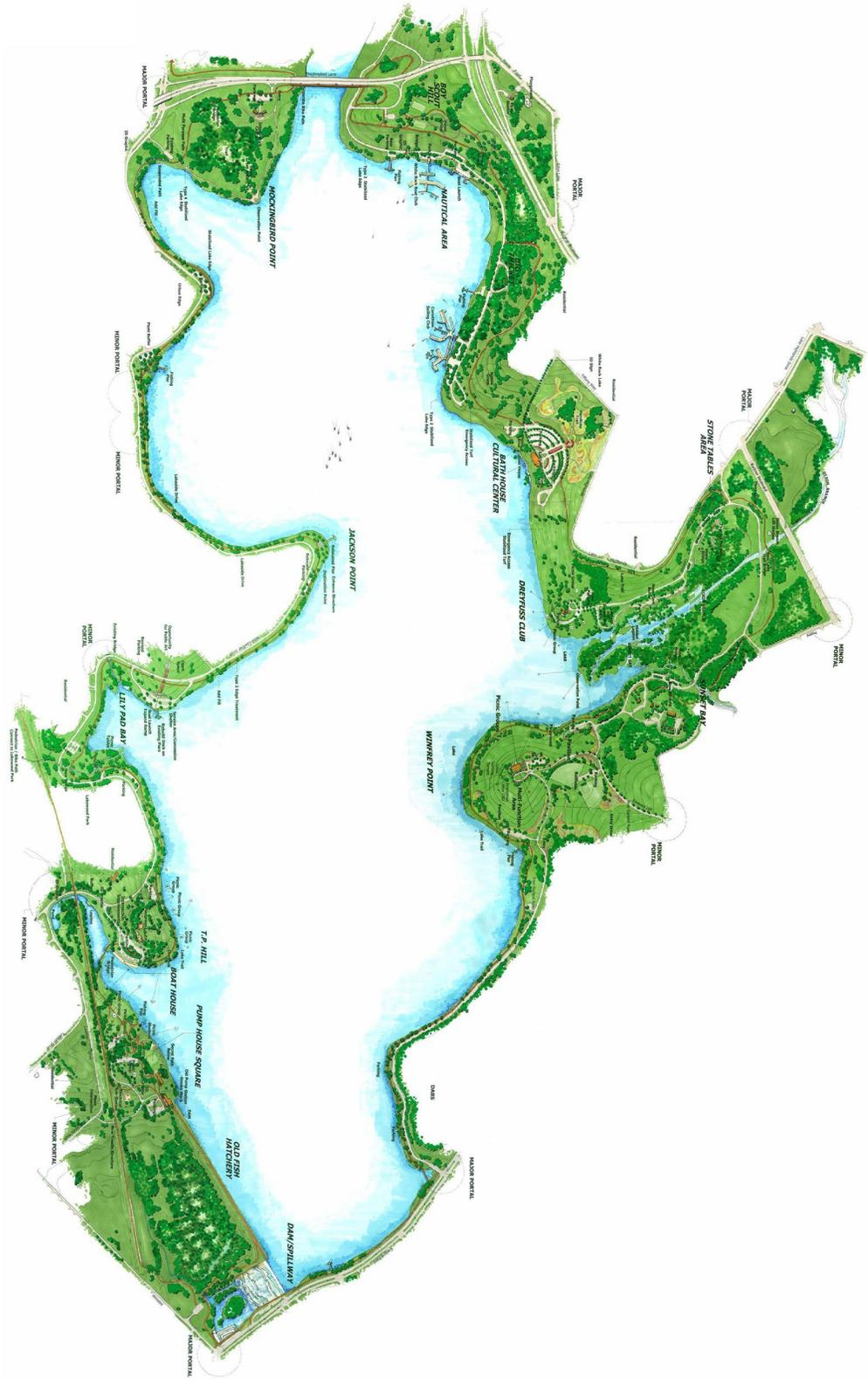
MASTER PLAN



2002 WHITE ROCK LAKE PARK MASTER PLAN

The 2002 NJB Master Plan for White Rock Lake Park has been the primary graphic document for construction improvements within the park. Enhancements to circulation, parking, and trail alignments are outlined here along with programming elements like an Interpretive Center at Mockinbird Point and Multi-Function Area at Winfrey Point.

The 2025 Master Plan illustrates what was constructed from the 2002 Master Plan, reintroduces elements that are still applicable for the park today, and provides opportunities for additional improvements that have not been previously documented.



MASTER PLAN

The White Rock Lake Park Master Plan is a blend of elements from previous planning efforts and new ideas relevant to the park today. Through a collaborative set of public engagement opportunities and stakeholder feedback, the Master Plan has been updated, to include items accomplished since the last update as well as new recommendations based on this feedback.

White Rock Lake Park has evolved over decades of improvements led by the diversified concept presented in the 1994 Master Plan and Design Guidelines. This Master Plan identified twenty (20) Parks-within-the Park that all contribute to the overall context of White Rock Lake Park. This will aid in focusing improvements throughout the park into manageable and impact projects.

The following pages present enlargements of each of the focus areas along with recommendations related to the specific areas. The goal of this section is to provide a conceptual framework which guides future improvements within White Rock Lake Park.

The graphic below illustrates the components found on each enlargement sheet and how to use them:

DESIGN INFLUENCES:

Each enlargement contains unique influences and characteristics that are defined within the three categories below.

UNIQUE CHARACTERISTICS:

Site specific characteristics to account for when further defining detailed design responses.

RECREATIONAL ASSETS:

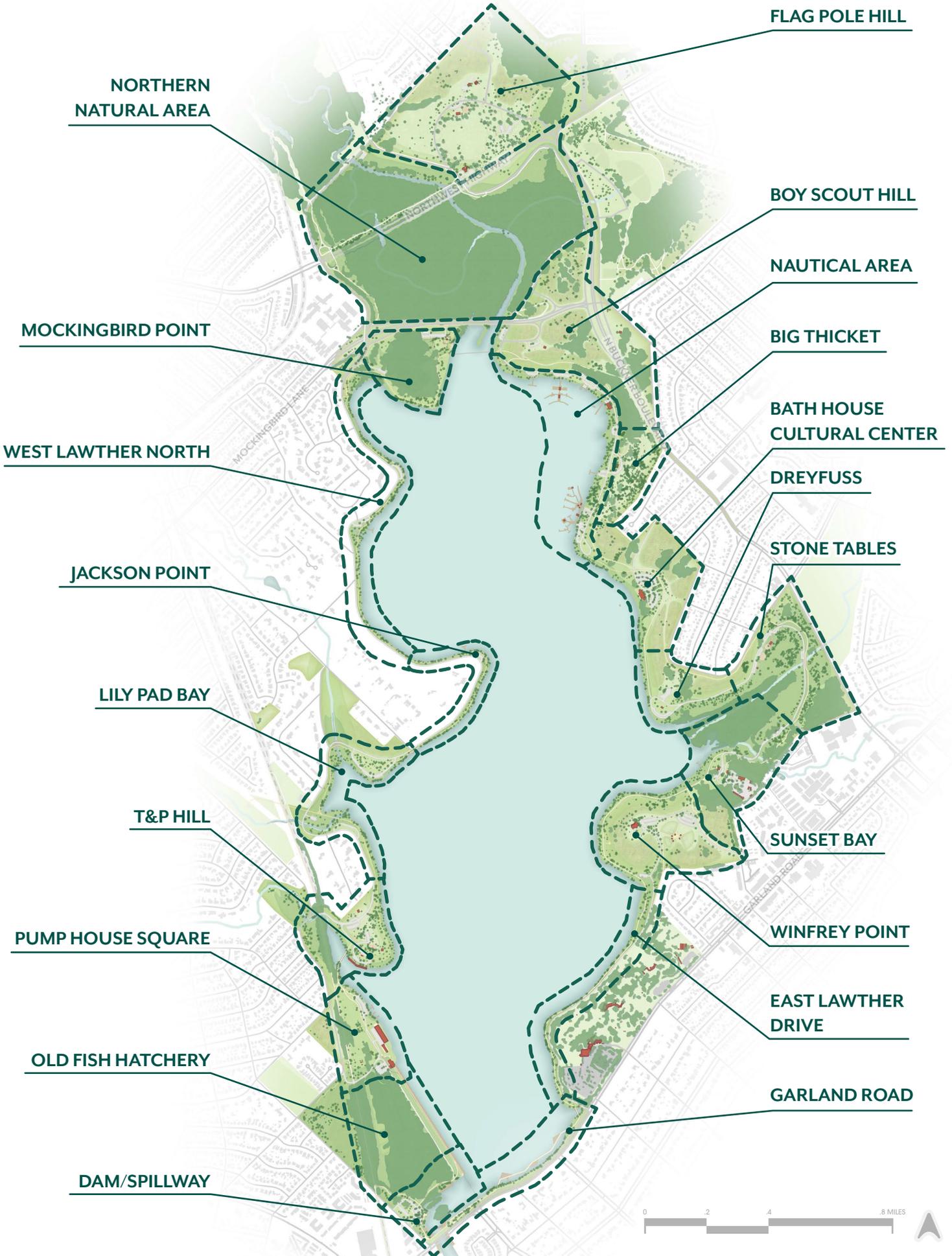
Existing Park assets supportive to the Master Plan vision that should be maintained and improved.

SURROUNDING INFLUENCES:

Adjacencies to specific areas that should be taken into consideration when improving specific park assets.

OPPORTUNITIES & RECOMMENDATIONS:

Recommendations based on previous planning studies, current community input, staff interviews, and site reviews. These recommendations are presented in the table format below.



NORTHERN NATURAL AREA

FLAG POLE HILL

BOY SCOUT HILL

NAUTICAL AREA

MOCKINGBIRD POINT

BIG THICKET

BATH HOUSE CULTURAL CENTER

WEST LAWATHER NORTH

DREYFUSS

STONE TABLES

JACKSON POINT

LILY PAD BAY

SUNSET BAY

T&P HILL

WINFREY POINT

PUMP HOUSE SQUARE

EAST LAWATHER DRIVE

OLD FISH HATCHERY

GARLAND ROAD

DAM/SPILLWAY



FLAG POLE HILL



UNIQUE CHARACTERISTICS

- Historic structures
- Open Space

RECREATIONAL ASSETS

- Trail use
- Picnic areas
- Open fields

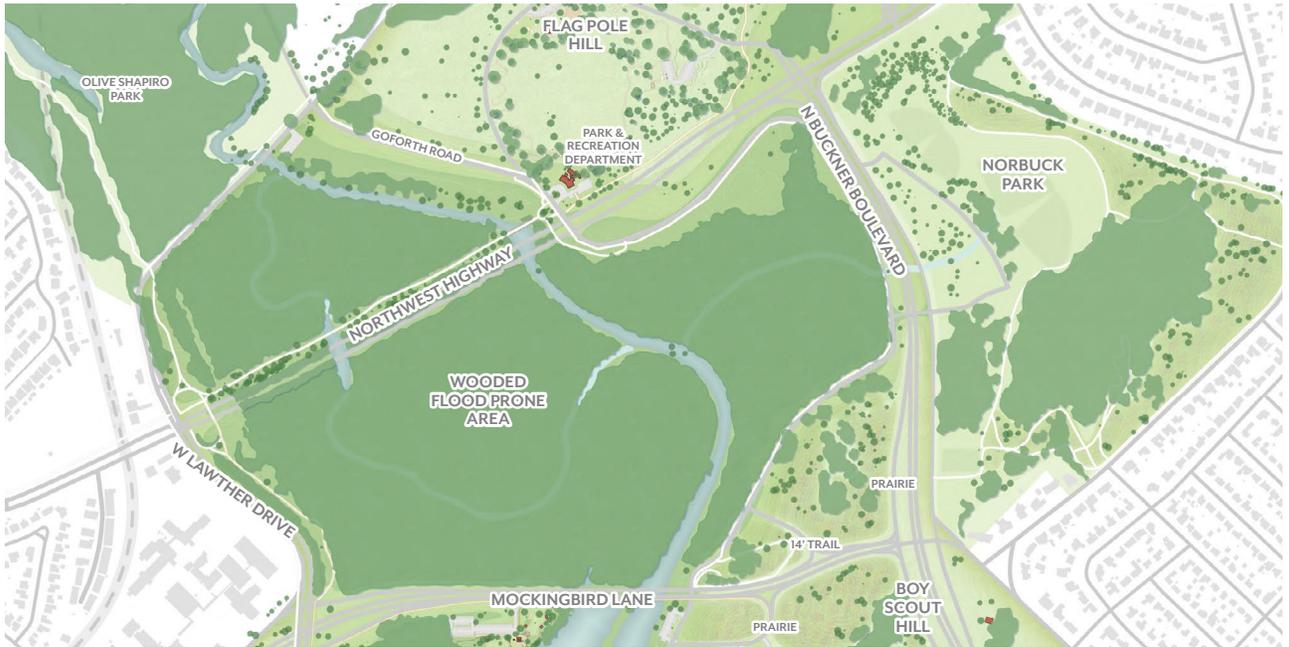
SURROUNDING INFLUENCES

- Neighborhoods
- Northwest Highway

OPPORTUNITIES/RECOMMENDATIONS:

- Reforestation of the entry roads to Flag Pole Hill.
- Preserve existing WPA stone work and horizontal cedar rails.
- Repurpose staff building as Future Visitors/Interpretive Center
- Continues improvements based on Master Plan
- Playground expansion
- Future Lake office/visitor's center
- Continued special programming

NORTHERN NATURAL AREA



UNIQUE CHARACTERISTICS

- Navigable water
- Trees

RECREATIONAL ASSETS

- Lake Access

SURROUNDING INFLUENCES

- Parking areas
- Trail
- Northwest Highway
- Mockingbird Lane

OPPORTUNITIES/RECOMMENDATIONS:

- Mockingbird & Northwest Highway Wildlife Management Program
- Preserve canopy and plant material per reforestation recommendations.
- Enhanced paddle trail
- Trash/Siltation mitigation
- Preserved natural space

MOCKINGBIRD POINT



UNIQUE CHARACTERISTICS

- Lake views
- Natural wooded areas

RECREATIONAL ASSETS

- Parking areas
- Trail
- Picnic areas
- Lake views
- Dog park

SURROUNDING INFLUENCES

- Mockingbird Lane
- West Lawther Drive
- Pedestrian bridge
- White Rock Lake

OPPORTUNITIES/RECOMMENDATIONS:

- Restrict placement of view obstructing elements on the bridge unless required by state/federal standards.
- Reforestation in conjunction with the picnic improvements recommended for this area.
- Establish wildlife management program for this area.
- Develop picnic area.
- Consolidate parking.
- Parking surface upgrades
- Dog Park surface upgrades
- Overlook at point
- Shoreline erosion control
- Wildlife signage
- Improved pedestrian bridge approach

BOY SCOUT HILL



UNIQUE CHARACTERISTICS

- Prairie ecosystem
- Park gateway

RECREATIONAL ASSETS

- Parking
- Overlook
- Pavilion & picnic areas
- Trail connections

SURROUNDING INFLUENCES

- Mockingbird Lane
- East Lawther Drive
- East Lawther Trail

OPPORTUNITIES/RECOMMENDATIONS:

- Reforestation around picnic shelters
- Reforestation of East Lawther entry roads from Mockingbird Lane
- Wildflower plantings on slopes at Boy Scout Hill
- Preservation of prairie areas
- Improve parking lot surfaces near picnic shelters.
- Study potential of East Lawther pedestrian overpass
- Organize & Enhance Parking
- Pathway connections
- Connections to neighborhoods along Mockingbird Lane

NAUTICAL AREA

UNIQUE CHARACTERISTICS

Multiple vehicular/pedestrian conflicts
 Varied surfaces for vehicular circulation
 Roadway adjacency to shoreline

RECREATIONAL ASSETS

Waterfront access
 Boat ramps
 Fishing piers
 Parking areas
 Picnic areas

SURROUNDING INFLUENCES

East Lawther Drive
 East Lawther Trail
 Boy Scout Hill
 Shoreline
 Boat Clubs

OPPORTUNITIES/RECOMMENDATIONS

- Reforestation along shoreline.
- Preserve canopy and plant material per reforestation recommendations.
- Provide alternative to existing “temporary” on-shore rowing club facility consistent with other nautical area permanent structures
- Parking lot lighting improvements.
- Consolidate parking.
- Organize & enhance parking
- Evaluation of roadway cross section to accommodate side paths for pedestrians
- Consistent roadway edge treatment
- Reclamation of green space from inefficient parking
- Restore public boat ramps
- Pedestrian bridge approach/overpass



BIG THICKET



UNIQUE CHARACTERISTICS

Historic structure
Rental facility

RECREATIONAL ASSETS

Waterfront views
Parking areas
Picnic areas
Boat Ramp
Fishing pier

SURROUNDING INFLUENCES

East Lawther Drive
East Lawther Trail
Shoreline

OPPORTUNITIES/RECOMMENDATIONS:

- Consolidate parking.
- Building restoration
- Renovated restrooms with public access
- Parking lot surface upgrades
- Reclamation of green space from inefficient parking

BATH HOUSE



UNIQUE CHARACTERISTICS

Multi-use facility
Historic structure

RECREATIONAL ASSETS

Waterfront access & views
Parking areas
Picnic areas
Trailhead parking

SURROUNDING INFLUENCES

East Lawther Drive
East Lawther Trail
Shoreline
Peninsula Neighborhood

OPPORTUNITIES/RECOMMENDATIONS:

- Reforestation of parking lot.
- Reforestation along shoreline.
- Street and Shade Tree Plantings.
- Road realignment and simplified approach to building entry.
- Paving, public art, and landscape enhancements at vehicular oval drive.
- Outdoor Interpretive Prairie Museum, north of Bath House Cultural Center. (environmental exhibit)
- Parking lot surface upgrades
- Context sensitive road sections
- Continued maintenance/restoration/preservation
- Engage shoreline
- Reclamation of green space from inefficient parking

DREYFUSS POINT



UNIQUE CHARACTERISTICS

Isolated site
 Downtown views
 Former site of The Dreyfuss Club (destroyed by fire in 2006)

RECREATIONAL ASSETS

Waterfront access & views
 Parking areas
 Picnic areas
 Trailhead parking

SURROUNDING INFLUENCES

East Lawther Drive
 East Lawther Trail
 Shoreline
 Peninsula Neighborhood

OPPORTUNITIES/RECOMMENDATIONS:

- Reforestation of general area.
- Preserve canopy and plant material per reforestation recommendations.
- Consolidate picnic areas, provide minor picnic area.
- Consolidate parking.
- Three new picnic areas along lake shore.
- Shoreline stabilization.
- Potential building replacement as a feature to the park
- Outdoor pavilion
- Downtown overlook
- Organize & enhance parking
- Trail/road transition

STONE TABLES AREA



UNIQUE CHARACTERISTICS

- A park within a park
- Natural areas
- Reforestation efforts
- Historic precedent of multi-use building/facility

RECREATIONAL ASSETS

- Dixon Branch
- Parking areas
- Picnic areas
- Trailhead parking

SURROUNDING INFLUENCES

- East Lawther Drive
- East Lawther Trail
- Shoreline
- Dixon Branch

OPPORTUNITIES/RECOMMENDATIONS:

- Consolidate parking.
- Relocate gravel parking north of pavilion away from residential areas to Lawther Drive southeast of restroom area.
- Add planting buffers to screen picnic area east of Lake Highlands Road to screen from neighboring residences.
- Utilize "seahorse window tracery" for design elements.
- Screen Dixon Branch Lift Station from Buckner Boulevard, Lawther Drive, and lake trail views.
- Playground replacement
- Continued momentum on recent enhancements
- Restroom upgrades
- Organize & enhance parking

SUNSET BAY

UNIQUE CHARACTERISTICS

Park within a park
 Historic active park area
 Seasonal migratory birds
 CCC statue

RECREATIONAL ASSETS

Historic Structures
 Rent-able venue
 Picnic areas
 Trailhead parking

SURROUNDING INFLUENCES

East Lawther Drive
 East Lawther Trail
 Shoreline
 Peninsula Neighborhood
 Winfrey Point
 Stone Tables

OPPORTUNITIES/RECOMMENDATIONS:

- Prepare plans for shoreline erosion control.
- Establish wildlife management program for this area.
- Consolidate parking.
- Enhance entrance from Lawther Drive with identification signage and views.
- Enhance plant and wildlife habitats.
- Provide bird watching platforms and roosting boxes to support wildlife.
- Lake/siltation remediation
- Reconfigure trail/road/parking conflicts
- Renovation/preservation of Caretakers House
- Renovation/preservation of Sunset Inn (explore Park supportive uses)
- Restroom upgrades
- Parking consolidation
- Control invasive shoreline vegetation
- Explore future park use for White Rock Lake Park Service Center
- Fishing pier upgrades



WINFREY POINT

UNIQUE CHARACTERISTICS

Downtown & Lake Views
 Natural areas/Blackland prairie
 Historic structure
 Rent-able venue

RECREATIONAL ASSETS

Group gathering space
 Parking areas
 Multi-use facility
 Trailhead parking

SURROUNDING INFLUENCES

East Lawther Drive
 East Lawther Trail
 Shoreline
 Emerald Isle Drive

OPPORTUNITIES/RECOMMENDATIONS:
Reforestation of picnic area.
Landscape enhancements around rental facility.
Wildflower plantings on slopes around rental facility.
Consolidate picnic areas, provide major picnic area.
Upgrade baseball fields.
Consolidate parking.
Provide a new playground area that is recessed into existing grade.
Improve southern entry to building and oval drop-off area.
Realign main access drive to provide more direct vehicular access.
Provide identification signage at intersections and street trees to strengthen vehicular approach.
Visually separate the ballfields from the rental facility with tree masses.
Designate additional wildflower and prairie zones along lake edge and trail.
Realignment of Entry Roads.
Parking lot upgrades & re-organization
Explore options for trails/paths from building to trail
Develop focused master plan for Winfrey Point



EAST LAWTHER DRIVE

UNIQUE CHARACTERISTICS

- Narrow connective corridor
- Lake views
- Downtown views

RECREATIONAL ASSETS

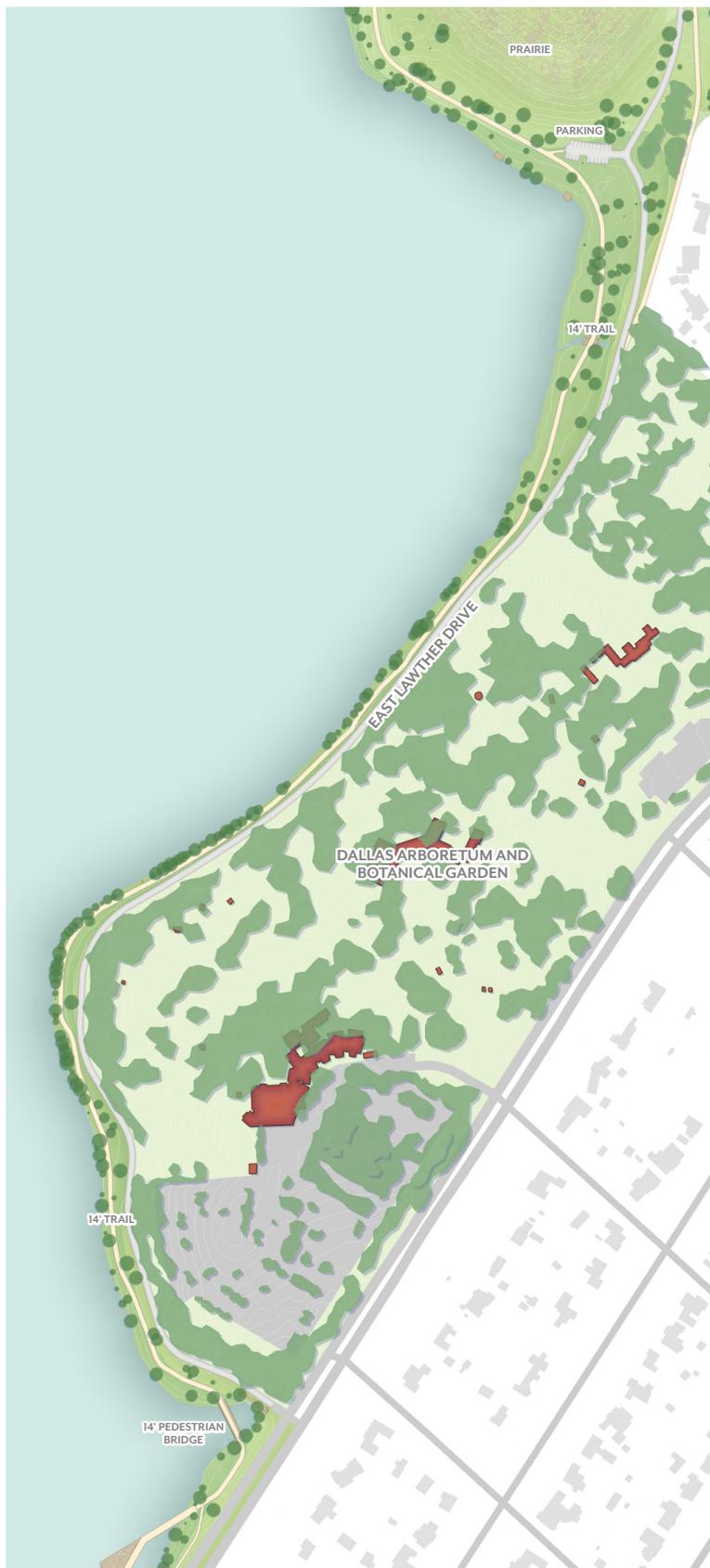
- Multi-Use trail
- East Lawther Drive
- On-street parking

SURROUNDING INFLUENCES

- Lake Shoreline
- Dallas Arboretum
- East Lawther Drive
- Garland Road

OPPORTUNITIES/ RECOMMENDATIONS:

- Widen East Lawther for Bicyclists
- Maintain Existing East Lawther Loop System
- Reforestation along East Lawther shoreline.
- Address shoreline erosion critical zones adjacent to paving



GARLAND ROAD



UNIQUE CHARACTERISTICS

Small Land Area
 Adjacency to Spillway

RECREATIONAL ASSETS

Overlooks
 Trail Connection

SURROUNDING INFLUENCES

Garland Road

OPPORTUNITIES/RECOMMENDATIONS:

- Prepare plans for shoreline erosion control.
- Garland Road Reforestation
- Landscape enhancements to East Lawther and Garland Road entrance.
- Options for safe pedestrian/trail areas adjacent to Garland Road
- Explore options for over the water boardwalk
- Reclaimed park buffer from Garland Road
- Shoreline erosion repair

DAM/SPILLWAY

UNIQUE CHARACTERISTICS

Spillway Views
Regional landmark

RECREATIONAL ASSETS

Overlooks
Parking areas
Trailhead parking

SURROUNDING INFLUENCES

Garland Road
Winstead Drive

OPPORTUNITIES/RECOMMENDATIONS:

Provide low stone identification signage and walls at corner of Winstead and Garland Road.

Expand and improve parking area southwest of spillway.

Re-evaluate planting/irrigation areas at spillway plaza

Options for safe pedestrian/trail areas adjacent to Garland Road

Park gateway at Garland Road & Winstead Drive

Replace pedestrian/trail bridge with signature bridge with 20' min wide deck.

Widen and organize approach to bridge to provide more space for multiple users



OLD FISH HATCHERY

UNIQUE CHARACTERISTICS

- Historic use as fish hatchery
- Natural area
- Parakeets & other unique urban birds

RECREATIONAL ASSETS

- Preserved Natural area
- Educational/interpretive areas

SURROUNDING INFLUENCES

- Spillway/Dam
- WRL Trail
- Pump House Square

OPPORTUNITIES/ RECOMMENDATIONS:

Border shrubbery to buffer perimeter fencing.

Old Fish Hatchery Environmental Study: identify unique environments, flora, and fauna, make recommendations concerning its use as a nature study center, appropriate interpretive methods and signage, establish wildlife management program, determine appropriate enclosure to control public access while allowing wildlife migration.

Maintain pedestrian only access

Pathway definition

Audobon Society partnership

Signage



PUMP HOUSE SQUARE



UNIQUE CHARACTERISTICS

- Multi-use facilities
- Civic uses
- Historic structures
- Landmark features (pump house/smoke stack)

RECREATIONAL ASSETS

- Overlooks
- Parking areas
- Boating/paddlesports access

SURROUNDING INFLUENCES

- Winstead Dr
- Spillway/dam
- White Rock Lake Trail
- TXU facilities
- DWU facilities

OPPORTUNITIES/RECOMMENDATIONS:

- Coordinate reforestation program with Dallas Water Utilities Department reforestation program.
- Screen existing utilities with plant material.
- Consolidate parking.
- Provide identification signage along trails.
- Refurbish existing fishing pier.
- Organization of spaces between facilities
- Clear definition of public areas
- Signage
- Organized parking areas
- Trail alignment options
- Pump house/Pedestrian overpass
- Explore options for Pump House pedestrian overpass

T.P. HILL



UNIQUE CHARACTERISTICS

Lake views
Boomerang Boathouse

RECREATIONAL ASSETS

Boating access

SURROUNDING INFLUENCES

West Lawther Drive

OPPORTUNITIES/RECOMMENDATIONS:

- Reforestation of the shelter, parking, and picnic areas.
- Consolidate parking.
- Provide new picnic groupings.
- Parking lot upgrades (lighting)
- Trail alignment/circulation study (previous vs new)
- Trail connections to parking lot
- All season water fountain
- Boathouse preservation
- Playground upgrades
- Trash interceptor at creek

LILY PAD BAY



UNIQUE CHARACTERISTICS

- Creek Inlets
- Vegetation
- Adjacent Open Space

RECREATIONAL ASSETS

- Parking areas
- Boating access

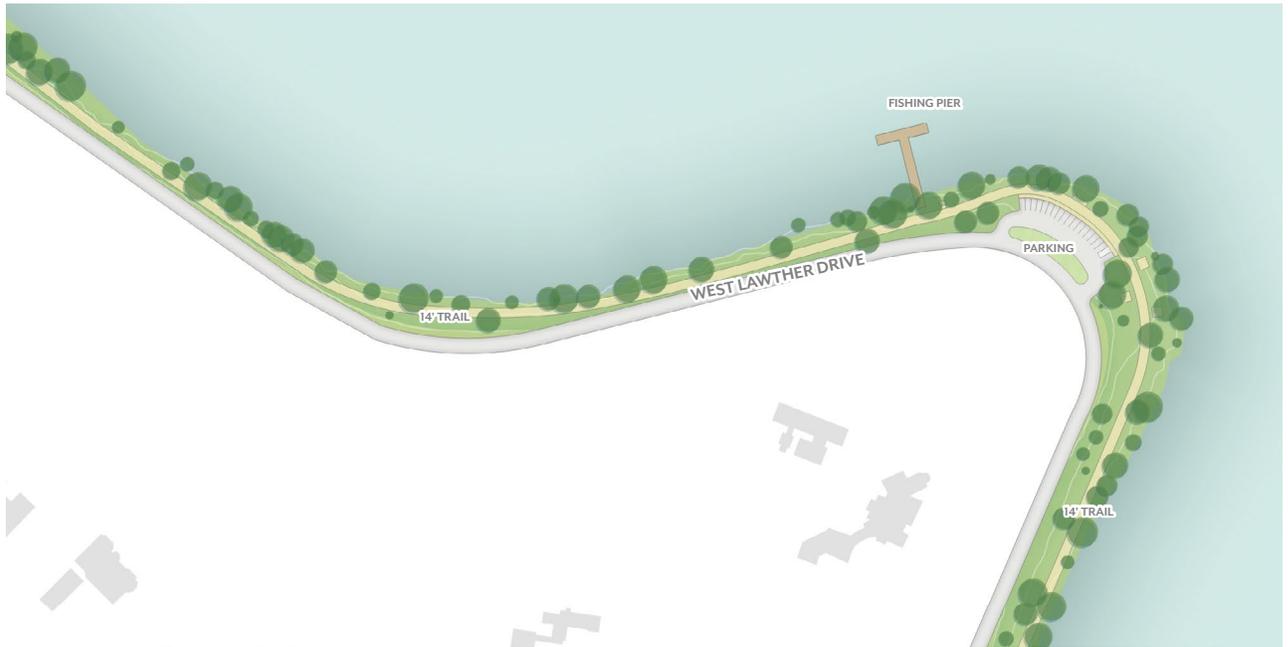
SURROUNDING INFLUENCES

- West Lawther
- White Rock Lake Trail

OPPORTUNITIES/RECOMMENDATIONS:

- Lily Pad Bay Reforestation
- Wildflower planting area.
- Consolidate picnic areas, provide minor picnic area.
- Reconfiguration of parking spaces/boat/trailer parking (North Lot)
- Replacement and reconfiguration of parking (South Lot)
- Clear definition of public areas
- Signage
- Trail alignment options
- Trash interceptor at creek

JACKSON POINT



UNIQUE CHARACTERISTICS

Lake views
Navigation point

RECREATIONAL ASSETS

Parking areas
Fishing Pier

SURROUNDING INFLUENCES

West Lawther
White Rock Lake Trail

OPPORTUNITIES/RECOMMENDATIONS:

Reforestation along shoreline.

Reforestation

Shoreline Restoration

Evaluate sitting areas and picnic areas for accessibility erosion control

WEST LAWTHER NORTH

UNIQUE CHARACTERISTICS

Active lakeside

RECREATIONAL ASSETS

Parking areas
Trail

SURROUNDING INFLUENCES

West Lawther
White Rock Lake Trail

OPPORTUNITIES/ RECOMMENDATIONS:

Maintain Existing West Lawther Loop System

Reforestation along West Lawther shoreline.

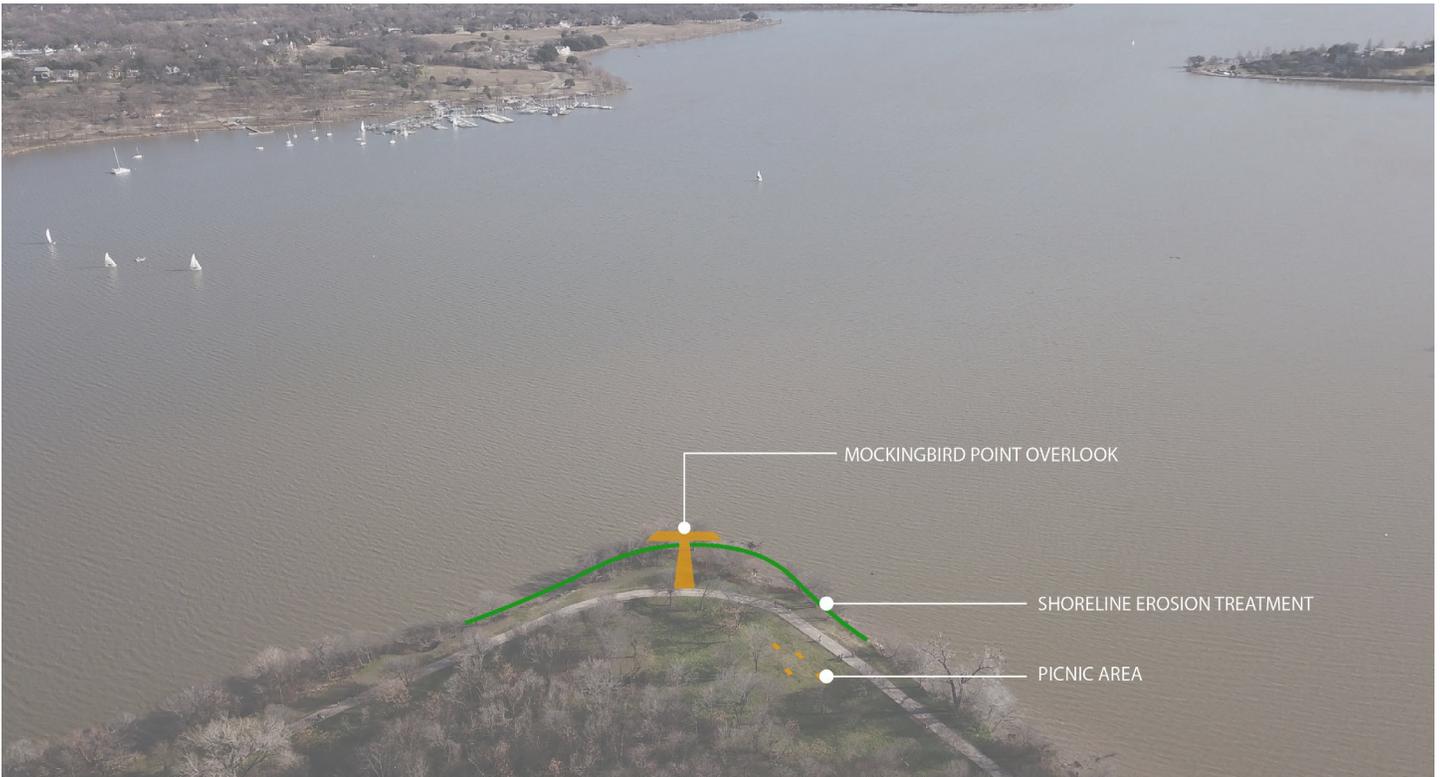
Evaluate sitting areas and picnic areas for accessibility



13.0 THE BIG IDEAS

Throughout this master plan, physical improvements and organization of spaces have mainly been the result of deferred improvements that have been recommended previously or relate to ongoing maintenance within the park. During the planning process, some new topics were explored as the result of public meetings, stakeholder interviews and input, and onsite evaluations. The following five “big ideas” presented here to document further these ideas that should be explored in further detail as priority projects are identified and funding may be available.

1. Mockingbird Point Overlook
2. East Lawther Overpass
3. Bath House Parking lot Alignment
4. Garland Road Boardwalk
5. Pumphouse Trail Bypass



MOCKINGBIRD POINT OVERLOOK

Mockingbird Point sits at the northern end of the lake and contains significant park amenities such as the Dog Park and the trail connection to the pedestrian bridge just south of Mockingbird Lane. This area of land was created from spoils of an early dredging project in the 1960's-1970's. A concept that has been noted in previous masterplans suggest that the "point" of Mockingbird Point be explored for a scenic vista or overlook taking advantage of the expansive lake views looking south towards Downtown Dallas. This area is prone to shoreline erosion due to its exposure to the predominant southern winds and constant wave action. An improvement such as an overlook could be paired with lake edge control to protect the shoreline from future erosion.

OPPORTUNITIES/RECOMMENDATIONS:

- Apply temporary lake edge control measures to prevent further erosion of shoreline.
- Study Mockingbird point for a permanent overlook, destination point.
- Incorporate lake edge control measures to prevent continued shoreline erosion.
- Protect significant vegetative areas that contain nesting areas for migratory birds.



EAST LAWATHER OVERPASS

A concept that was once explored during the design of the East Lawther trail remains an opportunity to increase safety at the termination of the Mockingbird pedestrian bridge on the eastern shore of the lake. Currently the bridge terminates into a small landing and stone wall forcing pedestrians and cyclists to quickly turn left or right after departing the bridge, encountering vehicular traffic on East Lawther shortly after this turn. This idea is to renovate the pedestrian bridge to extend over East Lawther Dr. and connect into the existing East Lawther Trail to mitigate this conflict. Further study and detailed design options would be necessary to include a connection back down to East Lawther Drive with safe merging for pedestrians and cyclists.

OPPORTUNITIES/RECOMMENDATIONS:

Further study of the feasibility of renovation of the Mockingbird bridge to create an overpass over East Lawther Dr.

Include options for pedestrians and cyclists to merge safely onto East Lawther Drive further east

Protect significant vegetative areas on Boy Scout Hill that may contain prairie remnant areas.



BATH HOUSE AREA

A key destination along the eastern shoreline, this area features a large parking lot and access to the historic Bath House, which remains an active community space. Once a bustling recreational hub, the area has transitioned into a more passive park setting with open green space and trail access. Previous planning efforts have recommended realigning the parking lot entrance and improving its surface. Additional studies could explore converting portions of East Lawther Drive into a pedestrian and cycling-only corridor, alleviating congestion on the adjacent trail while utilizing the underused roadway. Removing unnecessary barriers along this route would further enhance safety for runners and cyclists.

OPPORTUNITIES/RECOMMENDATIONS:

- Study the feasibility of converting East Lawther Drive into a pedestrian/cycling corridor.
- Reclaim shoreline green space by removing redundant parking areas.
- Align Northcliff Drive with the parking lot entrance for improved circulation.
- Eliminate unnecessary traffic control devices to create a safer, more open corridor.



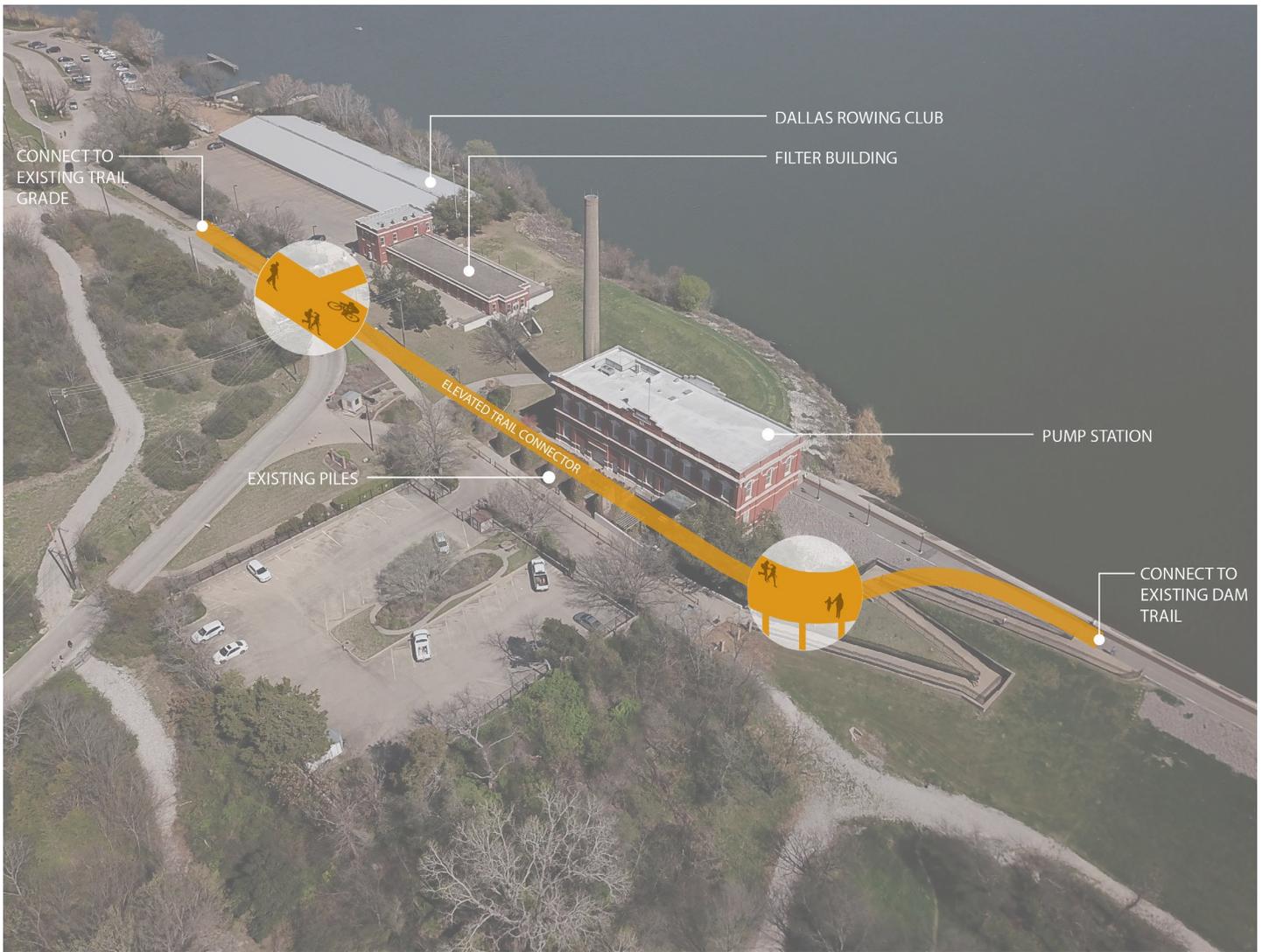
GARLAND ROAD BOARDWALK

The parkland along Garland Road provides a crucial trail connection from East Lawther to the Spillway observation area but faces challenges due to its proximity to high-speed traffic and persistent shoreline erosion. Proposals for this corridor have included barriers between the roadway and trail, erosion control measures, and the creation of a boardwalk. A boardwalk would offer an alternative path over the water, rejoining the shoreline at a safer location. This feature could serve as a signature element at White Rock Lake, enhancing the experience for visitors while reinforcing the park's identity. Extensive study and detailed design will be required to evaluate feasible options for accommodating the lake's diverse trail users.

OPPORTUNITIES/RECOMMENDATIONS:

Conduct further studies on boardwalk options to create a multi-use path over the water.

Implement shoreline erosion control measures along the Garland Road corridor



PUMP HOUSE TRAIL OVERPASS

Currently, the multi-use trail passes through the secured parking area of the historic Pump House, which is operated by Dallas Water Utilities. From there, the trail follows a narrow, switchback path up the back of the White Rock Lake Dam, a section often avoided by trail users due to steep elevation changes and varying path materials. The dam's upper trail offers some of the most scenic views of the lake, making an improved route highly desirable. One proposed solution involves repurposing the former railway alignment, once used to deliver coal to the Pump House, as an elevated walkway that connects directly to the top of the dam. This would minimize pedestrian access to the Pump House parking lot and eliminate the need for the switchback path.

OPPORTUNITIES/RECOMMENDATIONS:

Study the feasibility of an elevated walkway to provide a safer and more accessible route for trail users.

ADJACENT INFLUENCES

Additional public spaces surround White Rock Lake and provide additional amenities and services that may compliment or conflict with programming provided in White Rock Lake Park. It is important to consider these adjacent spaces and their contextual influence when presenting updates to White Rock Lake Park. Future planning efforts for these parks as well as White Rock Lake Park should be coordinated. The adjacent parks surrounding White Rock Lake Park are listed below:

- Olive Shapiro Park
- Norbuck Park
- Lake Highlands Park
- Lakewood Park
- Dallas Arboretum & Botanical Garden
- Tokalon Park
- White Rock Lake Greenbelt

OLIVE SHAPIRO PARK

NORBUCK PARK

LAKE HIGHLANDS PARK

LAKWOOD PARK

DALLAS ARBORETUM

TOKALON PARK

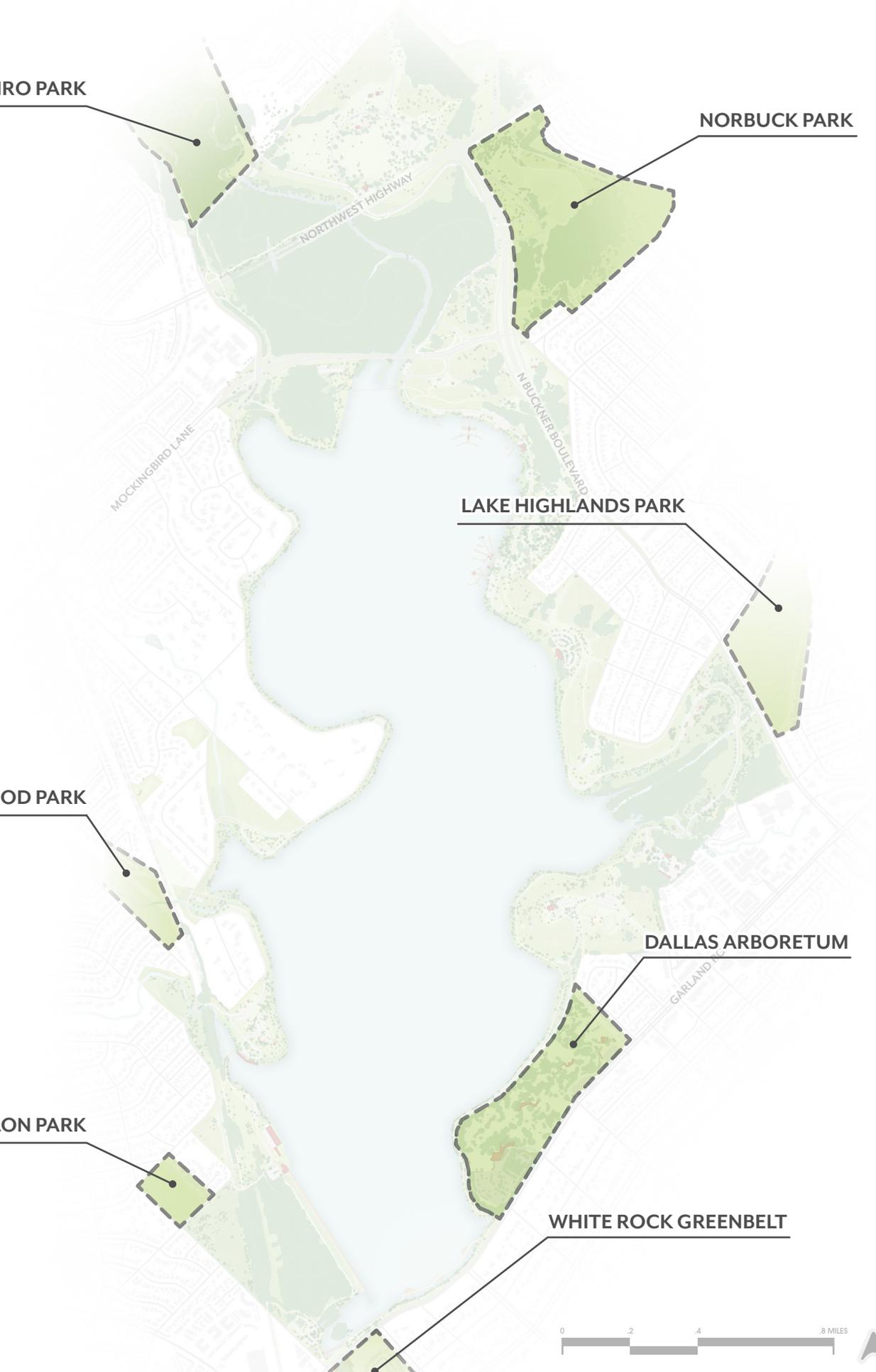
WHITE ROCK GREENBELT

MOCKINGBIRD LANE

NORTHWEST HIGHWAY

N BUCKNER BOULEVARD

GARLAND



DESIGN GUIDELINES

ABOUT THESE GUIDELINES

The White Rock Lake Park we enjoy today has been developed through a century's worth of careful planning, design, and implementation of projects of varying sizes. Stonework used on low retaining walls, a signature gathering space or facility, or a trail, all contributes to the character of the park. It is important to be authentic but realistic when designing new features at the park. The CCC/WPA style of construction has been embraced as a guiding design influence at the park.

Implementing projects with a unified design intent is crucial to maintaining the park's character. These guidelines, adapted from the 1994 Design Guidelines, reflect the current standards for the park. They are intended for use by design professionals, park department staff, philanthropic groups, and anyone involved in projects at the lake. While these guidelines provide a standard for specific elements, DPARD has the authority to evaluate modifications on a case-by-case basis. Prioritizing site-specific requirements is essential when constructing new elements within the park.

USE OF THIS GUIDE

The design guidelines have been formatted so that a reader may engage with the material in a non-linear fashion. Each section provides varying degrees of detail and information. These sections present individual topics, which do not require a complete reading of the material that precedes them.

LEVELS OF GUIDANCE

For most topics and treatments in this guide, the reader will find three levels of guidance.

- Location
- Standard
- General Considerations

Note: Certain sections contain a general discussion only and have no specific location or standards recommendations.

1.0 TRAILS

- 1.1 Multi-Use Trail
- 1.2 Soft Surface Trail
- 1.3 Multi-Use Boardwalk
- 1.4 Bridges & Crossings

2.0 PARKING AREAS

- 2.1 Single Loaded
- 2.2 Double Loaded
- 2.3 Multi-Double Loaded
- 2.4 Boat & Trailer Parking
- 2.5 Materials & Drainage

3.0 LAKE EDGE CONTROL

- 3.1 Stone Composite Walls
- 3.2 Boulder Wallak
- 3.3 Sheet Piling
- 3.4 Stabilized Edge (Gabion)
- 3.5 Geotextiles
- 3.6 Organic Options
- 3.7 Bio-Engineering
- 3.8 Temporary Solutions

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- 4.3 Vegetative Barrier
- 4.4 Rustic Curb

5.0 PARK AMENITIES

- 5.1 Piers
- 5.2 Playgrounds
- 5.3 Restrooms
- 5.4 Trail Rest Stops/Seating Area
- 5.5 Picnic Tables
- 5.6 Park Benches
- 5.7 Drinking Fountain
- 5.8 Bicycle Parking Areas
- 5.9 Grills
- 5.10 Trash Receptacles
- 5.11 Trash Dumpsters

6.0. SIGNAGE AND GRAPHICS

- 6.0 General Guidelines
- 6.1 Type B Portal
- 6.2 Type C Portal
- 6.3 Type A Facility/Destination
- 6.4 Type B Facility
- 6.5 Information Map/Lake Interpretive
- 6.6 Circulation Directional
- 6.7 Interpretive Graphics
- 6.8 Information Kiosk

7.0. STONEMWORK**8.0. VEGETATION**

- 7.0 General Guidelines
Criteria and Guidelines
Care & Maintenance
Reference 2022 Maintenance Plan

9.0 LIGHTING

- 8.0 General Guidelines
Criteria and Guidelines
Care & Maintenance
Reference 2009 Lighting Plan

10.0 PUBLIC ART

- 9.0 General Guidelines
Criteria and Guidelines
Care & Maintenance
Zone Criteria
Reference 1994 Design Guidelines

11. UTILITIES

- 10.0 General Guidelines
Criteria and Guidelines
Utility Infrastructure/Cabinets
Care & Maintenance

12.0 ARCHITECTURE

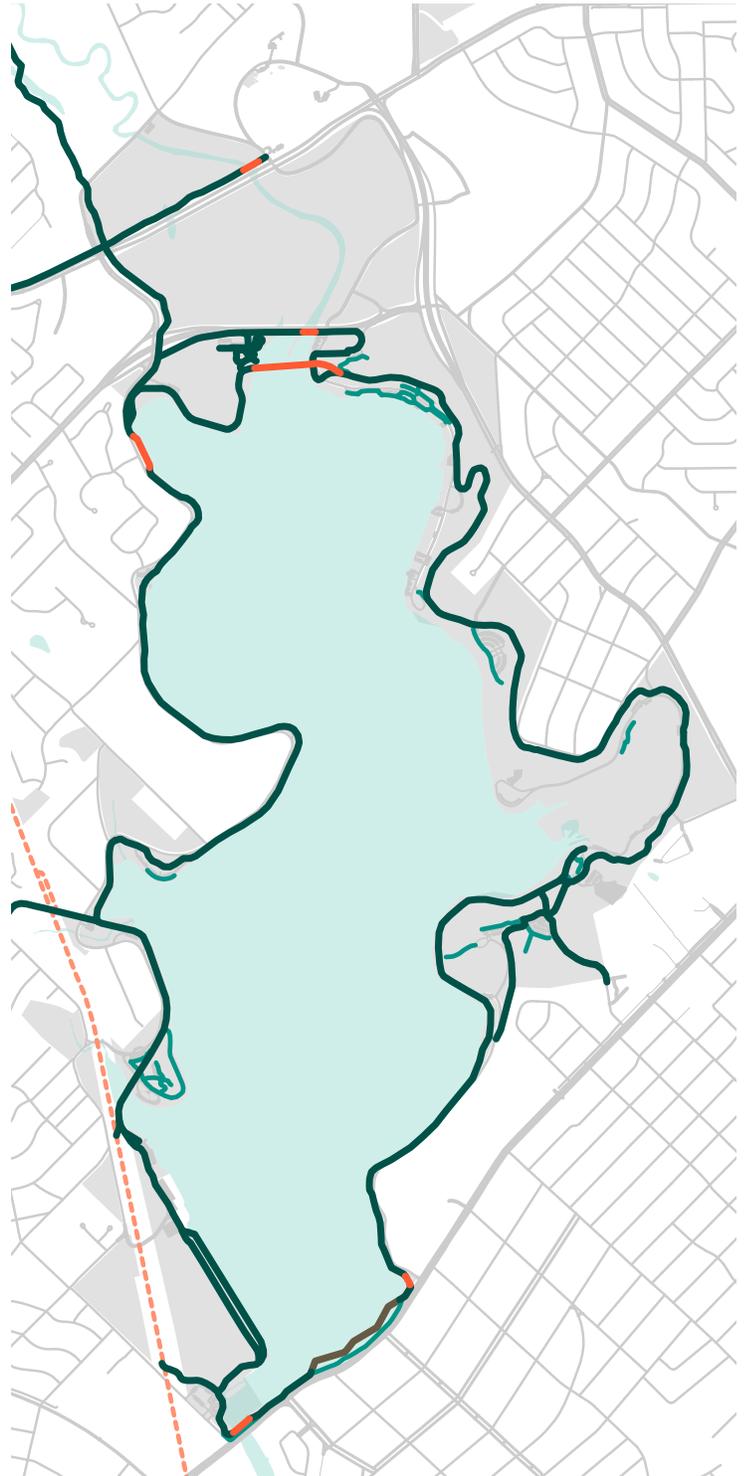
- 11.0 General Guidelines
Criteria and Guidelines
Care & Maintenance
Zone Criteria
Reference 1994 Design Guidelines &
2003 Reflection Point Design Guidelines

1.0 TRAILS

The White Rock Lake Trail encircles the lake with 9.3 miles of continuous paved trail. The majority of the trail is paved with asphalt, while some sections feature concrete, bridges, or boardwalks to cross tributaries or sections of the lake. The following trail typologies define the design intent for trail development at White Rock Lake Park:

LEGEND:

- Multi-Use Trail ———
- 6'-8' Trail ———
- Boardwalk ———
- Bridge/Crossing ———
- Soft Surface Trail ———
- SoPac Trail - - - - -



1.1 MULTI-USE TRAIL

DESCRIPTION

The multi-use trail is a paved pathway designed for pedestrians, cyclists, runners, and joggers. It is physically separated from motor vehicle traffic, and its alignment should aim to minimize intersections with roadways.

LOCATION

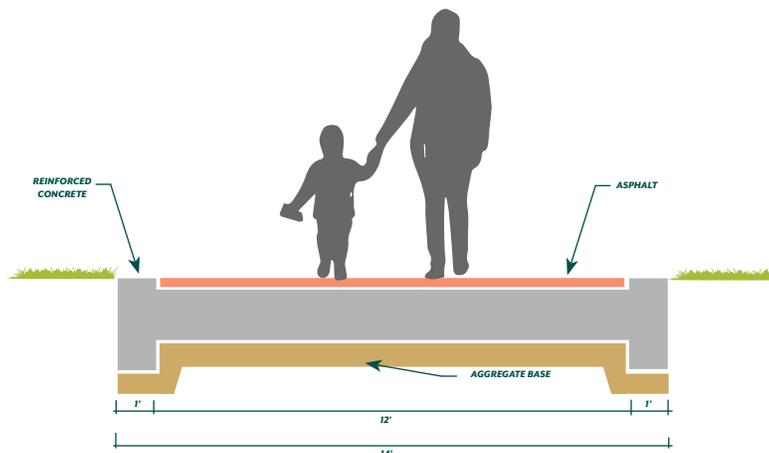
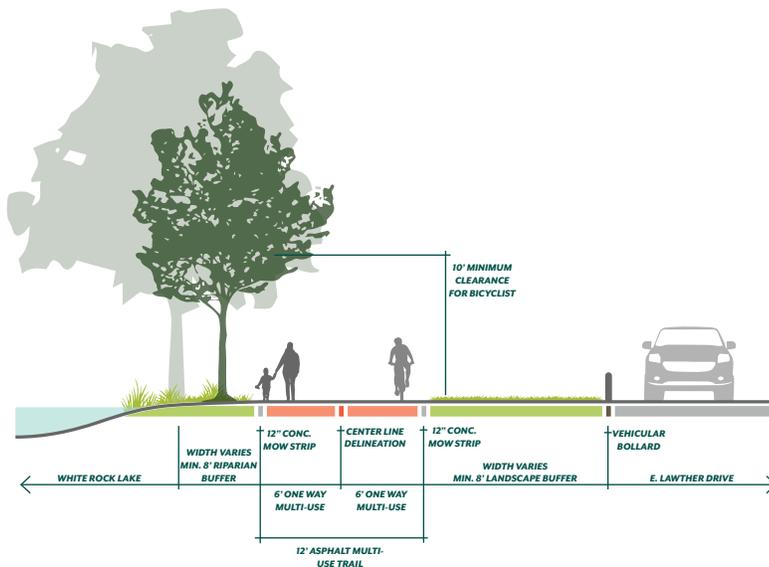
Where appropriate and where conflicts do not occur, the trail should be situated between the shoreline and the nearest adjacent roadway. Exceptions include nautical areas and locations where access to shoreline parking is available and would provide pedestrian/vehicular conflicts.

STANDARD

- 12-foot asphalt trail bed with 1-foot reinforced concrete containment bands on each side (14 feet total width)
- 3-foot shoulder/fall zone on both sides

GENERAL CONSIDERATIONS

Avoid unnecessary transitions from road to trail. Where feasible and safe, remove barriers to maintain a continuous loop around the lake with minimal conflicts.



1.2 SOFT SURFACE TRAIL

DESCRIPTION

The 6-foot-wide decomposed granite trail provides a natural, eco-friendly alternative to paved paths. These trail types are designed to blend seamlessly into the landscape and offers an immersive connection to nature.

LOCATION

The trail should connect key points of interest like parks and scenic areas while avoiding sensitive ecological zones. Aligning it with natural features, such as tree lines, enhances user experience and minimizes environmental impact.

STANDARD

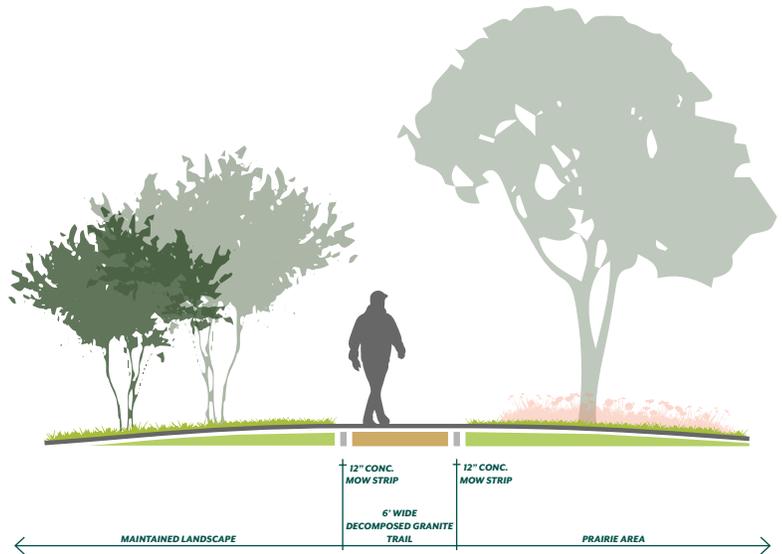
- Compacted gravel sub-base for stability.
- 4-inch layer of decomposed granite with a binding agent.
- Provide maintenance access for long-term upkeep.

BENEFITS

This trail blends naturally with the environment, supports accessibility, and promotes outdoor recreation.

GENERAL CONSIDERATIONS

Decomposed granite may require maintenance after heavy rain to prevent erosion and maintain accessibility.



1.3 MULTI-USE BOARDWALK

DESCRIPTION

Boardwalks provide a stable, accessible path through wetlands prone to flooding.

LOCATION

The boardwalk should be placed where users need a dry, safe crossing over wetlands while avoiding disruption to wildlife and vegetation. Aligning it with natural contours and key recreational areas enhances accessibility while protecting the landscape.

STANDARD

- Assess the wetland for optimal alignment and preserve habitats
- Ensure accessibility with slopes under 5%.

BENEFITS

The boardwalk preserves wetlands by preventing erosion and protecting habitats. It provides safe, year-round access while encouraging outdoor recreation and community engagement.

GENERAL CONSIDERATIONS

The boardwalk must withstand flooding using water-resistant materials and a resilient design. Environmental assessments should minimize habitat disruption, and regular maintenance is necessary for longevity.



1.4 BRIDGES & CROSSINGS

DESCRIPTION

Bridges and crossings at White Rock Lake Park connect trails while enhancing the user experience.

LOCATION

Bridges should provide safe passage over water or rough terrain while preserving natural views. Their placement should ensure accessibility while minimizing environmental impact.

STANDARD

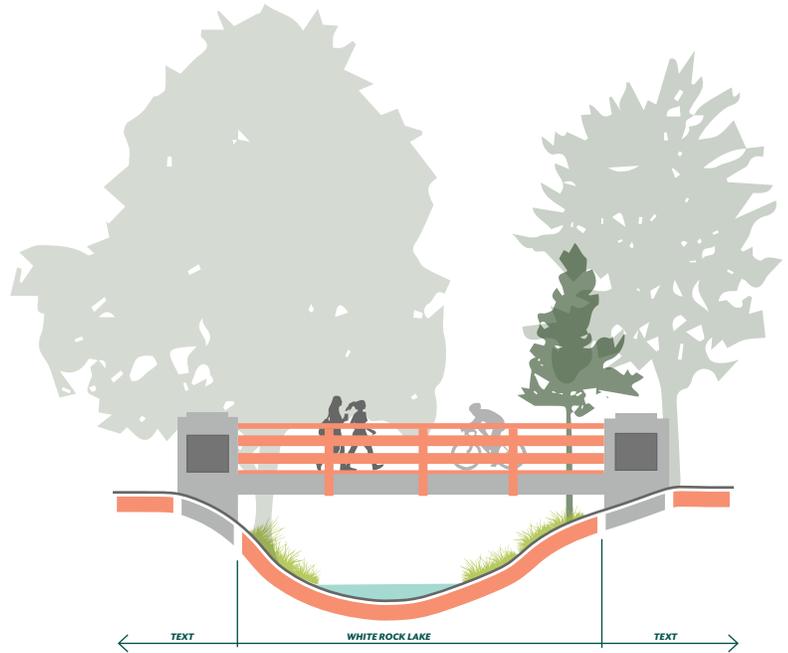
- Bridges shall match existing park features.
- Clean and seal stone surfaces as needed.

BENEFITS

Bridges improve trail connectivity and safety while maintaining the park's historical character.

GENERAL CONSIDERATIONS

Upgrades should preserve original materials and avoid modern design changes. Routine cleaning and inspections ensure safety while maintaining the park's aesthetic.



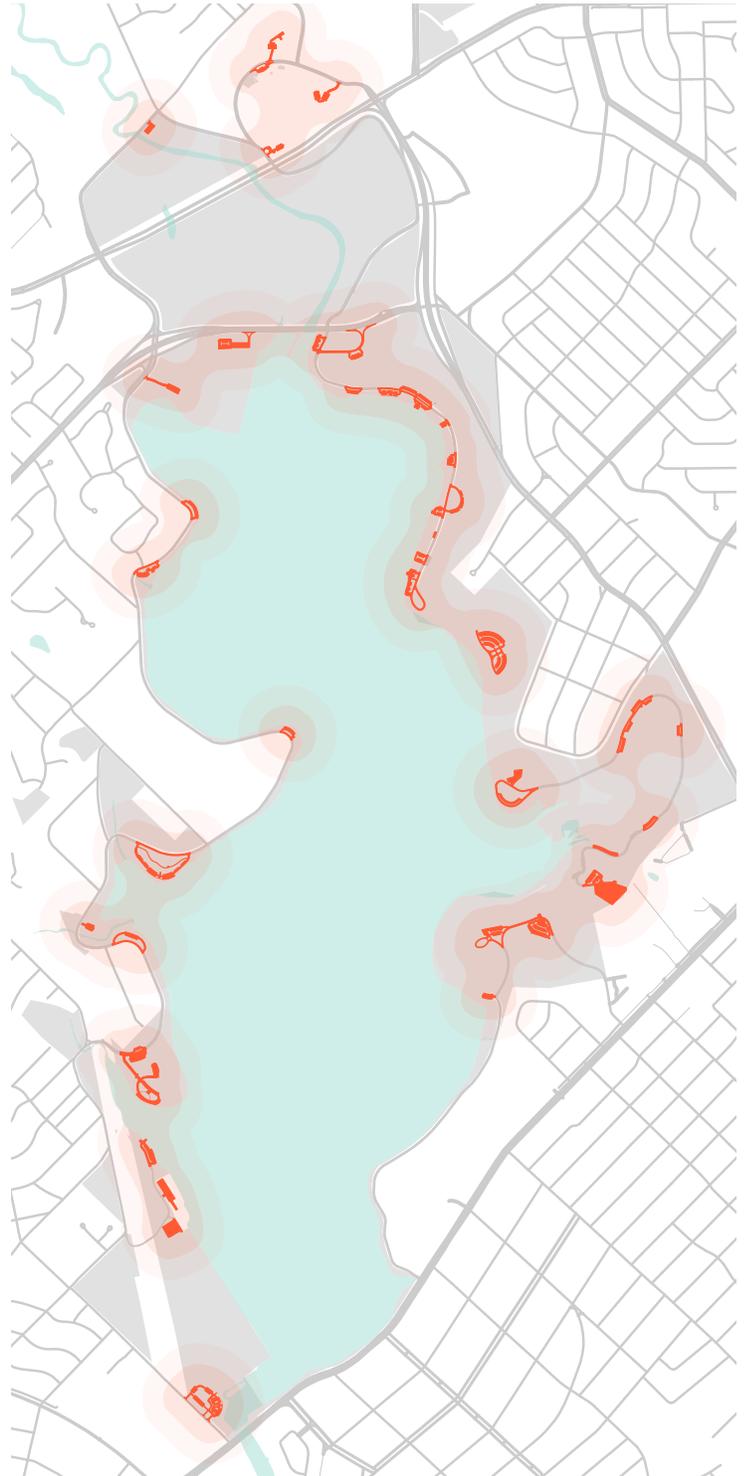
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2.0 PARKING

Parking facilities are dispersed around the lake, except in the Lakeside Drive and West Lawther Drive area, where limited parkland and neighborhood opposition led to relocation north and south. Larger lots at Mockingbird Delta and Lily Pad Bay serve cyclists who transport their bikes by car. These lots should be softened with tree islands. Single-loaded bays require a linear tree island between the parking bay and drive, while multiple lots should be separated by continuous tree islands.

Tree Island Guidelines:

- Space islands at least five spaces apart, with a maximum of 12 spaces between them.
- Stagger islands in a natural pattern on opposite sides of double-loaded bays.
- Islands should be at least one full parking space wide.
- Continuous islands should separate multiple double-loaded areas, with a minimum 20-foot gap.



2.1 SINGLE LOADED

DESCRIPTION

Single-loaded parking areas feature a single row of parking spaces along one side of the drive, typically used in narrow spaces or areas with limited space. These designs minimize the footprint of parking facilities and can easily integrate with natural surroundings.

LOCATION

Single-loaded parking is best placed along the edges of park drives or in areas where space constraints limit wider configurations. This layout is ideal for zones where visual impact needs to be minimized, such as near the lake or natural habitats.

STANDARD

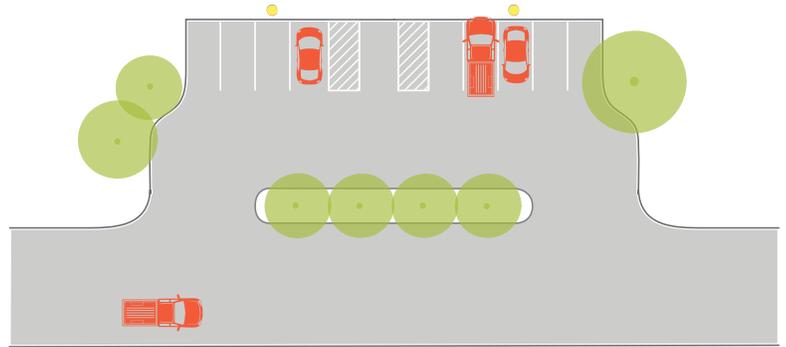
- A continuous linear tree island should be positioned between the parking bay and the drive, with tree islands spaced between every 5 to 12 spaces.
- Tree islands should be at least one parking space wide.
- Edges should use rustic concrete curbstones or bollards to maintain a natural, cohesive look.

BENEFITS

This layout limits visual intrusion into the landscape, while tree islands enhance shade and biodiversity. It is also flexible, allowing integration into smaller spaces and protecting nearby green areas.

GENERAL CONSIDERATIONS

Single-loaded parking should be carefully aligned to separate the parking bays from the lake drives and should integrate natural landscaping to reduce environmental impact. Regular maintenance of tree islands will be needed to ensure health and aesthetics.



2.2 DOUBLE LOADED

DESCRIPTION

Double-loaded parking features two rows of parking spaces facing each other along both sides of the drive, providing a more efficient use of space in moderate to high-demand areas.

LOCATION

Double-loaded parking works well in wider spaces where a higher volume of parking is required, but where maintaining visual and environmental balance is still a priority. It is suited for areas that support a high frequency of visitors, such as trail access points.

STANDARD

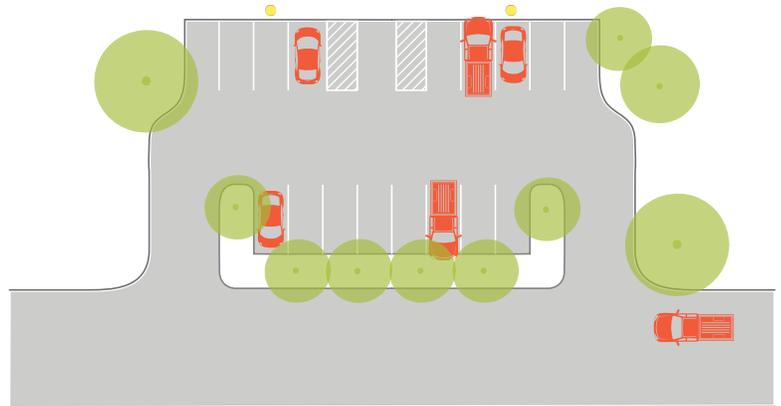
- Tree islands should be staggered every 5 to 12 spaces, with placements on opposite sides of the bays arranged in natural, random patterns.
- Islands should be at least the width of one parking space, and continuous islands should be included between multiple double-loaded areas to break up large expanses of pavement.
- Drainage should direct water toward curb inlets or storm sewers, minimizing erosion.

BENEFITS

This configuration maximizes parking efficiency while allowing for tree islands that add shade and visual appeal. It is suitable for high-traffic areas without overwhelming the surrounding landscape.

GENERAL CONSIDERATIONS

Tree islands in double-loaded parking areas require maintenance to maintain their shape and quality. Additionally, careful attention should be given to drainage to prevent pooling and erosion.



2.3 MULTI-DOUBLE LOADED

DESCRIPTION

Multi-double loaded parking is a larger layout with multiple rows of double-loaded parking bays, designed for high-capacity areas where a substantial number of vehicles need accommodation.

LOCATION

Best suited for large, open spaces like major trailheads or visitor centers, multi-double loaded parking should be located away from sensitive habitats and designed to minimize its environmental impact through landscaping.

STANDARD

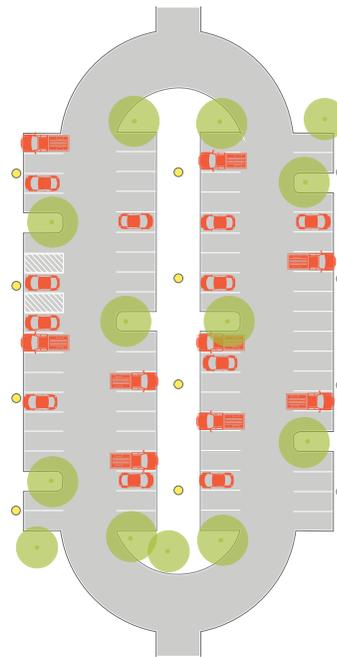
- Continuous tree islands should separate each double-loaded section, with staggered islands every 5 to 12 spaces for larger areas.
- Tree islands must be at least one parking space wide and should provide at least 20 feet of separation between sections for adequate shade and drainage.
- Drainage should be sheet-drained to inlets, with careful design to avoid runoff into sensitive park areas.

BENEFITS

This layout supports large volumes of visitors while preserving a natural look through tree islands and structured planting. It also creates visual breaks in the parking layout, reducing the perception of a large, uninterrupted paved area.

GENERAL CONSIDERATIONS

Maintenance is more intensive due to the larger number of tree islands and spaces. Drainage control is essential to avoid erosion and protect surrounding areas.



2.4 BOAT & TRAILER PARKING

DESCRIPTION

Boat and trailer parking areas are specifically designed to accommodate the size and maneuverability needs of vehicles with trailers, providing ample space for turning and parking.

LOCATION

Boat and trailer parking should be located near boat launch areas or docks for easy access. These areas should be positioned away from high-traffic pedestrian zones to minimize conflicts and ensure safety.

STANDARD

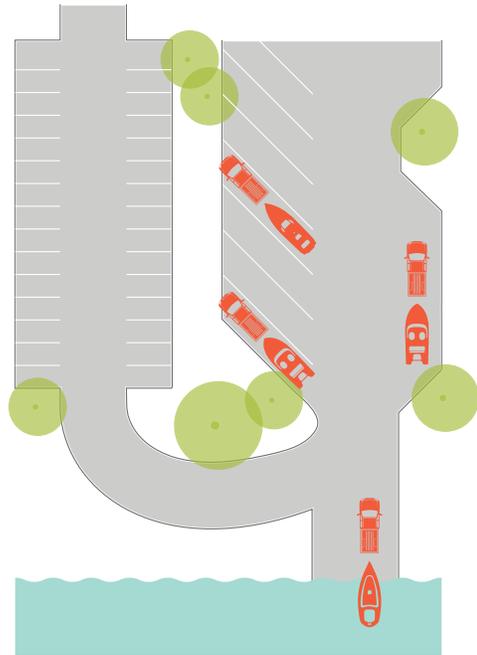
- Spaces should be extra-long and wide to allow for trailers, with reinforced pavement that can withstand the weight of larger vehicles.
- Drainage should prevent runoff into the lake or other sensitive areas, and erosion control measures should be prioritized.

BENEFITS

Providing designated spaces for boats and trailers helps manage traffic flow in the park and prevents congestion in general parking areas. These areas enhance convenience for park visitors engaging in water-based activities.

GENERAL CONSIDERATIONS

Boat and trailer parking areas should be carefully maintained to ensure they can handle heavy vehicles. Additionally, positioning them close to boat launches while minimizing environmental impact, especially regarding runoff, is essential.



2.5 MATERIALS & DRAINAGE

DESCRIPTION

The selection of materials and drainage solutions is guided by durability, functionality, and environmental sensitivity. Thoughtful drainage design is essential to managing stormwater, preventing erosion, and maintaining the integrity of both built and natural landscapes.

STANDARD

1. Concrete
2. Asphalt
3. Gravel/White Calienche

DRAINAGE CONSIDERATIONS

Parking areas and the surrounding spaces should be designed to mitigate excessive first-flush runoff into White Rock Lake.

Elements to consider:

- Directed runoff swales
- Vegetative bio-filters
- Bio-filters

3.0 LAKE EDGE CONTROL

Shoreline erosion and wave action are natural processes, but White Rock Lake exists within a highly constrained space, where any shift in the lake's edge can have significant impacts on adjacent shoreline uses. To preserve the lake for future generations, its edges must be carefully managed and restored. Effective shoreline treatments do not have to compromise aesthetics—natural areas can retain their organic appearance, while architectural zones can incorporate more structured, contrasting solutions.

Previous planning efforts have identified four distinct lake edge types, each with specific treatment recommendations:

Type 1: Architectural

Type 2: Stabilized Edge

Type 3: Stabilized Edge (Shallow Water)

Type 4: Organic Stabilization

The following guidelines outline additional options for shoreline treatments for each of these four edge types.

- LEGEND:**
- (Type 1)
 - (Type 2)
 - (Type 3)
 - (Type 4)



3.1 STONE COMPOSITE WALLS

TYPE 1: ARCHITECTURAL

DESCRIPTION

Stone composite walls are concrete walls with a stone veneer, providing durable structural support along the shoreline. They protect and define fishing piers, overlooks, bridge bases, and other man-made structures.

LOCATION

Best suited for high-use areas. Stone composite walls should be placed where man-made features meet the lake, such as piers, overlooks, and bridge bases. They should integrate with nearby facilities like the Bath House Cultural Center for visual continuity.

STANDARD

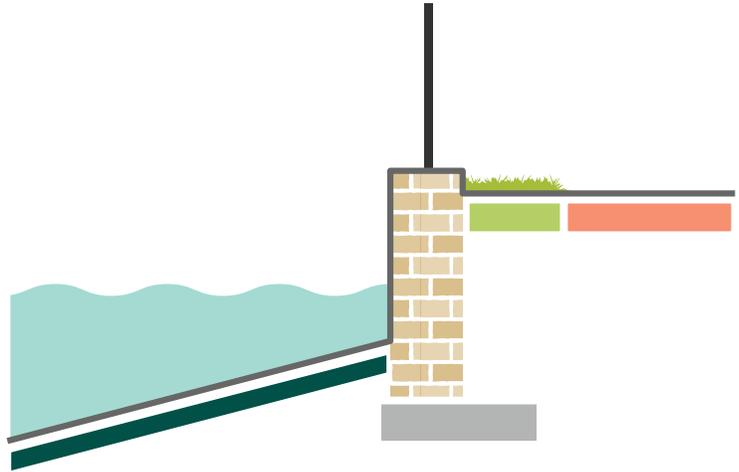
- Reinforce and anchor walls to withstand waves and water fluctuations.
- Ensure accessibility and safety in high-traffic areas.

BENEFITS

Stone composite walls provide stability, durability, and a cohesive look for lakefront structures. The stone veneer blends with the park's natural setting while offering a low-maintenance edge control solution.

GENERAL CONSIDERATIONS

Regular maintenance of the stone veneer is needed, and proper drainage must be in place to prevent long-term damage.



3.2 BOULDER WALLS

TYPE 1: ARCHITECTURAL

DESCRIPTION

Boulder walls use large, stacked stones to create sturdy, natural-looking barriers for erosion control. They blend with the environment, offering both stability and aesthetic appeal. Local or other compatible stone ensures a cohesive look with the surrounding landscape.

LOCATION

Ideal for steep slopes, shorelines, and erosion-prone areas, boulder walls provide protection while maintaining a natural appearance. They work best where man-made walls would disrupt the landscape.

STANDARD

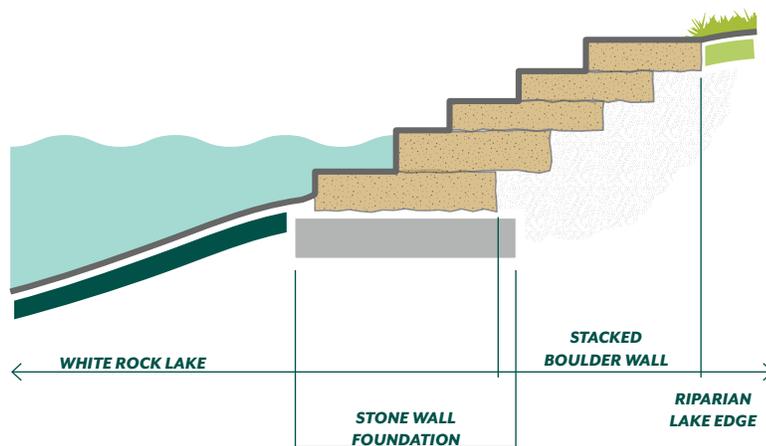
- Boulder walls shall have reinforced concrete foundation.
- Boulder walls shall be placed in a natural and stepped pattern to follow White Rock Lake design intent.

BENEFITS

Boulder walls offer erosion control, slope retention, and ecological benefits by supporting plant and wildlife habitats. Their durable, low-maintenance design withstands water and soil pressure while enhancing the park's natural aesthetics.

GENERAL CONSIDERATIONS

A strong foundation is crucial to prevent washout. Stones should match the natural setting, avoiding artificial-looking materials that disrupt the park's aesthetic.



3.3 SHEET PILING

TYPE 1: ARCHITECTURAL

DESCRIPTION

Sheet pilings are vertical barriers made of steel, vinyl, composite, or concrete that stabilize soil and prevent erosion. They form a continuous, watertight wall, protecting shorelines and embankments from wave action, heavy rain, and fluctuating water levels. These structures provide long-term stability in high-erosion areas.

LOCATION

Best for steep banks, high-erosion zones, and areas with strong water currents, sheet pilings reinforce man-made structures like piers and bridge abutments. They are ideal where softer stabilization methods, like vegetation or boulder walls, are insufficient.

STANDARD

- Sheet pilings are installed deeply to resist water pressure and soil movement.
- Interlock and seal pilings for watertight integrity.

BENEFITS

Sheet pilings provide strong, long-lasting erosion control, protecting infrastructure and natural features. Their space-efficient design maximizes land use while requiring minimal maintenance.

GENERAL CONSIDERATIONS

Installation requires specialized equipment and expertise, and improper anchoring can lead to failure. Material selection should suit site conditions, and exposed pilings may need coatings or landscaping for aesthetic integration.

3.4 STABILIZED EDGE (GABION)

TYPE 2: STABILIZED EDGE

DESCRIPTION

Stabilized edges, or gabion walls, consist of wire mesh baskets filled with rocks to control erosion and reinforce shorelines. Their permeable design allows water to flow through, reducing pressure and minimizing soil loss.

LOCATION

Gabion walls should be placed in erosion-prone shoreline areas requiring reinforced edge control. They are ideal for locations with strong wave action and water damage risks.

STANDARD

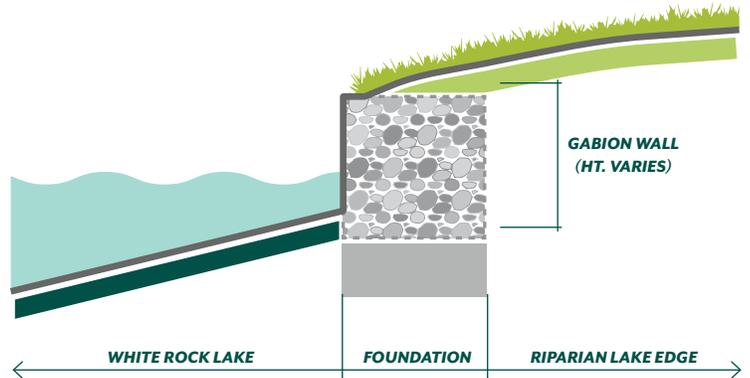
- Gabion baskets will use local stone and anchored to prevent shifting in high-wave areas.
- Allow vegetation growth for added stability and aesthetics.

BENEFITS

Gabion walls offer durable, low-maintenance shoreline protection while supporting natural vegetation. Their permeable design reduces hydrostatic pressure, preserving structural integrity.

GENERAL CONSIDERATIONS

Regular maintenance is needed to check for wire mesh damage and shifting. Proper anchoring ensures long-term stability, and vegetation should be carefully managed to prevent invasive species.



3.5 GEOTEXTILES

TYPE 3: STABILIZED EDGE

DESCRIPTION

Geotextiles are permeable fabrics that reinforce soil, control erosion, and support vegetation growth. Made from synthetic or natural fibers, they prevent soil displacement while allowing water to drain. Used with native plantings, they create a stable, long-term landscape solution.

LOCATION

Ideal for slopes, banks, and shorelines with mild to moderate erosion, geotextiles provide initial soil stability for new plantings. They prevent soil loss from rain, wind, or water flow and should be placed where vegetation can eventually take over soil stabilization.

STANDARD

1. Geotextile fabric are secured over prepared soil to prevent slippage and are covered with soil or mulch.
2. Geotextiles are weighed down with stones or gravel to resist wave action.

BENEFITS

Geotextiles provide immediate erosion control while promoting plant growth, reducing runoff, and maintaining soil moisture.

GENERAL CONSIDERATIONS

Proper installation is key to preventing slippage and ensuring effectiveness. Regular monitoring is needed to confirm root establishment and fabric security. They may not work in high-erosion areas without additional reinforcements like stone or gabions.



3.6 ORGANIC OPTIONS

TYPE 4: ORGANIC STABILIZATION

DESCRIPTION

Organic erosion control uses native trees, shrubs, and groundcovers to stabilize banks and promote biodiversity. These sustainable methods enhance the park's natural environment while providing long-term erosion management.

LOCATION

Best suited for gentle slopes and stable soils, organic methods work where vegetation can thrive without exposure to extreme erosion. Plantings should be near banks but away from highly erodible zones

STANDARD

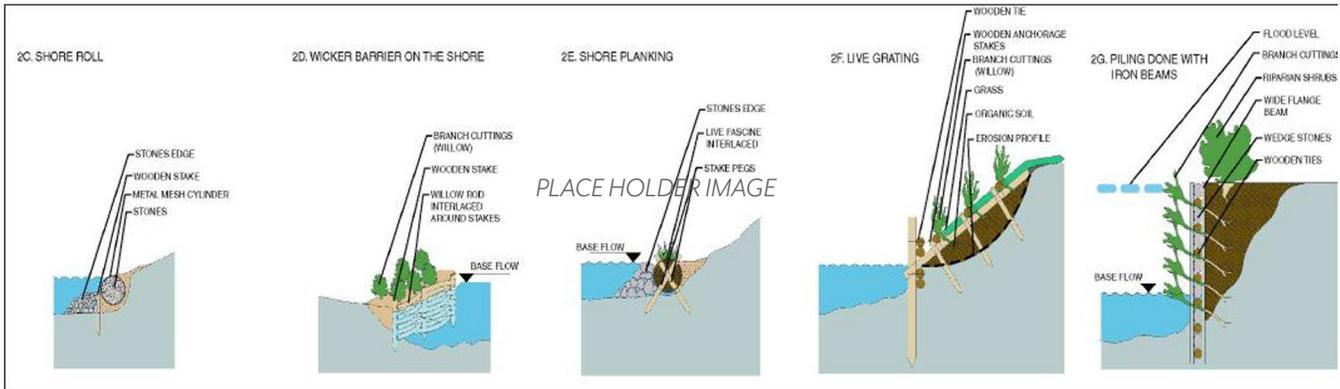
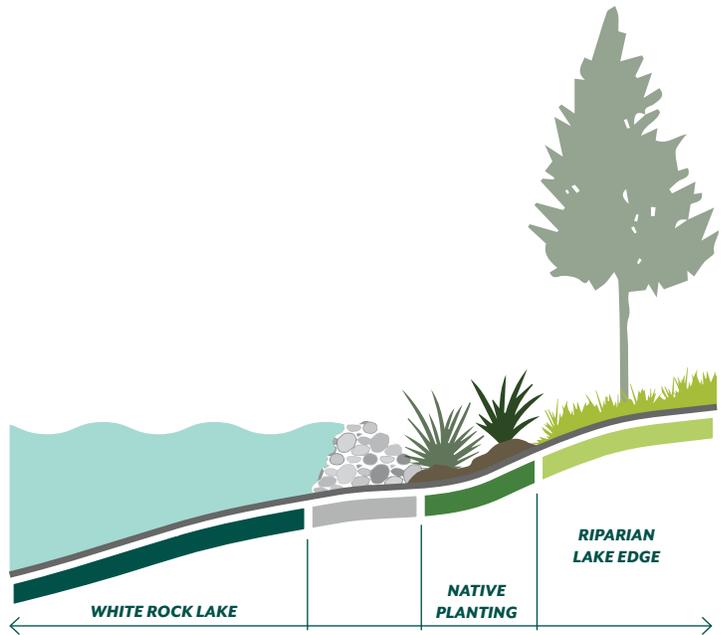
- Use native wetland plant species.
- Maintain plantings through pruning to prevent damage from debris and heavy rainfall.

BENEFITS

Organic solutions support wildlife, reduce runoff, and enhance bank stability while blending seamlessly with the park's landscape. Over time, mature vegetation strengthens shorelines and maintains ecological balance.

GENERAL CONSIDERATIONS

Not ideal for high-erosion areas, organic methods require regular maintenance, including pruning and plant replacement. Temporary irrigation is necessary for young plants, and long-term monitoring ensures effectiveness.



3.7 BIO-ENGINEERING

TYPE 4: ORGANIC STABILIZATION

DESCRIPTION

Bio-engineering combines natural vegetation with engineered materials to stabilize shorelines and control erosion. Techniques like live staking, brush layering, and erosion control blankets help reinforce soil while restoring ecosystems. These methods protect against water flow, wave action, and heavy rainfall while promoting biodiversity.

LOCATION

Best for riverbanks, lake shorelines, and wetlands, bio-engineering works where vegetation can integrate with the ecosystem. It is effective in moderate-flow areas but not ideal for steep slopes or high-energy wave zones without extra support.

STANDARD

- Site analysis is essential to match techniques with soil and water conditions.
- Live staking and brush layering anchor slopes with vegetation.
- Erosion control blankets, fiber rolls, and coir logs to reduce soil loss and buffer waves.
- Vegetated geogrids, wattles, and riparian buffers stabilize shorelines and improve water quality.

BENEFITS

Bio-engineering blends erosion control with habitat restoration, improving water quality and supporting biodiversity. It reduces reliance on hard engineering, such as stone composite walls, gabions, and boulder walls, while offering long-term, low-maintenance shoreline stabilization.

GENERAL CONSIDERATIONS

Success depends on proper site planning, as soil, water, and plant conditions affect outcomes. Vegetation takes time to establish, requiring early maintenance and monitoring.



PLACE HOLDER IMAGE



PLACE HOLDER IMAGE

3.8 TEMPORARY SOLUTIONS

TYPE 4: ORGANIC STABILIZATION

DESCRIPTION

Temporary solutions provide short-term lake edge stabilization and erosion control while allowing for future modifications or permanent installations. These methods include sandbags, erosion control blankets, coir logs, and temporary silt fences, which help reduce soil loss and protect shorelines.

LOCATION

Temporary solutions work best in areas needing immediate but short-term erosion protection, such as construction zones, newly planted shorelines, or areas recovering from storm damage. They are most effective in low- to moderate-energy environments where erosion is a concern but permanent structures are not yet in place.

STANDARD

- Sandbags or coir logs should be used to create temporary barriers that mitigate wave action and water flow.
- Erosion control blankets or silt fences must be applied to stabilize soil and prevent sediment runoff.
- Materials must be securely fastened to withstand weather conditions and ensure long-term effectiveness.

BENEFITS

Temporary solutions provide immediate erosion control, prevent sediment loss, and protect newly planted vegetation. They are cost-effective, easy to install, and allow for flexibility in future shoreline management plans.

GENERAL CONSIDERATIONS

These methods require regular maintenance and monitoring, as they degrade over time or shift due to water movement. They are not a long-term substitute for permanent stabilization solutions and may need frequent replacement or reinforcement. Proper disposal or integration into long-term solutions is necessary to prevent environmental impact.

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4.0 PARK EDGE CONTROL

The separation of vehicular circulation and open space is essential due to the significant differences in their respective functions.

Heavy circulation is concentrated on pathways or roads designed to withstand such uses while open space areas are typically too fragile for concentrated activity.

Maintaining separation between these uses can be challenging, especially when edge control devices must be both functional and visually appealing. Given the natural, park-like theme of White Rock Lake Park, circulation edge should generally be designed to appear seamless and unobstructed.

4.1 BOLLARDS & BOULDERS

DESCRIPTION

Bollards and boulders control traffic, define boundaries, and protect pedestrian areas in parks. Bollards provide a vertical visual cue, while boulders offer a natural alternative that blends seamlessly into the landscape.

LOCATION

Ideal for pathways, parking areas, and restricted zones, bollards and boulders prevent unauthorized vehicle entry while maintaining an open, natural setting. Boulders work well in areas needing a more organic boundary, such as trails, picnic areas, or overlooks.

STANDARD

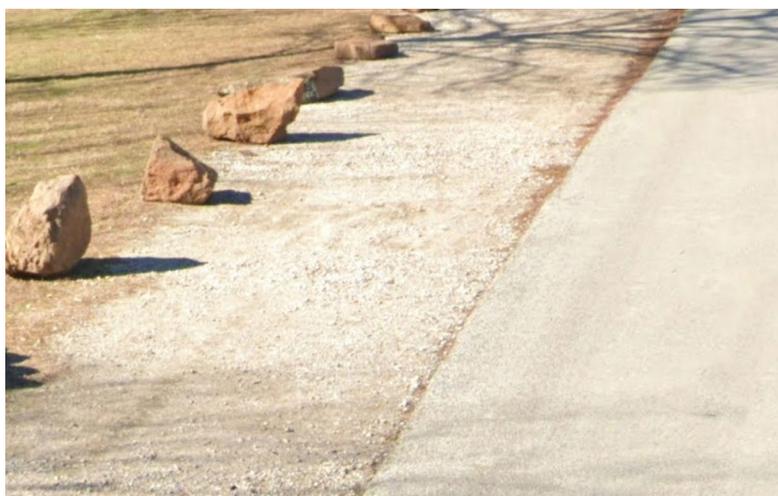
- Bollards are secured in concrete footings.
- Bollards and boulders are spaced to block vehicles while allowing pedestrian and bicycle passage.
- Materials are selected to follow White Rock Lake Park's design standards for durability and aesthetics (wood bollards preferred)

BENEFITS

Bollards and boulders enhance safety and circulation while preserving the park's character. Boulders require little maintenance, while bollards provide structured guidance. Removable bollards allow for seasonal or emergency access.

GENERAL CONSIDERATIONS

Proper spacing ensures accessibility and effectiveness. Regular maintenance prevents wear or shifting. Boulders should be placed to avoid trip hazards while still serving as clear boundary markers.



4.2 LOW FENCES

DESCRIPTION

Low fences provide subtle boundary definition while maintaining an open feel in park settings. They guide users and protect sensitive areas without obstructing views.

LOCATION

Ideal for separating pedestrian paths from planted areas, playgrounds, or water features. They work well along trails, and park perimeters where boundaries are needed. Placement should consider visibility, accessibility, and integration with the surrounding environment.

STANDARD

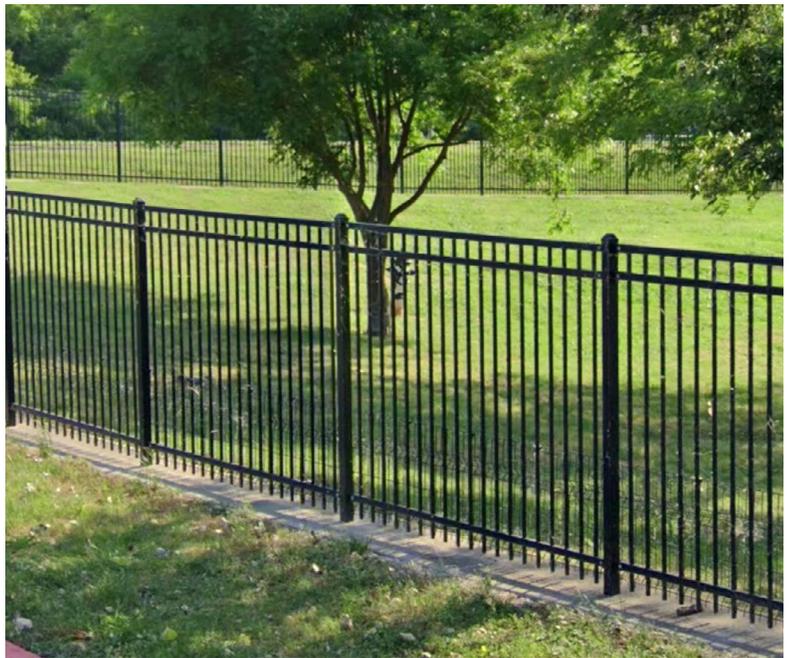
- Posts are securely installed with concrete footings.
- Materials are selected to follow White Rock Lake Park's design standards for durability and aesthetics.
- Low fences should be installed on concrete mow strip or low stone wall
- Fence can contain ornamentation upon approval

BENEFITS

Low fences offer clear yet unobtrusive edge control, guiding visitors while preserving sightlines. They help protect natural areas, improve park organization, and require minimal maintenance.

GENERAL CONSIDERATIONS

Material selection impacts durability and aesthetics, requiring weather-resistant finishes for longevity. Regular inspections prevent deterioration or damage. In high-traffic areas, additional reinforcement may be needed to withstand wear.



4.3 VEGETATIVE BARRIER

DESCRIPTION

Vegetative barriers use dense plantings of shrubs, grasses, or trees to define park edges naturally. They create a soft, eco-friendly boundary that blends with the landscape while providing erosion control and habitat for wildlife. These barriers enhance aesthetics and promote sustainability without the need for hard infrastructure.

LOCATION

Best suited for areas where a natural buffer is needed, such as along trails, roads, or sensitive habitats. They work well in locations requiring wind or noise reduction and help prevent off-trail movement. Placement should consider sunlight, soil conditions, and plant growth patterns for long-term effectiveness.

STANDARD

- Plant species are native and drought tolerant.
- Mulch or groundcover shall be used to retain moisture.
- Support establishment with use of temporary irrigation.

BENEFITS

Vegetative barriers reduce soil erosion, improve air quality, and create shade and shelter for wildlife. Once established, they require minimal upkeep compared to built structures.

GENERAL CONSIDERATIONS

Vegetation takes time to grow and may need temporary fencing for protection and/or temporary irrigation during establishment. Regular maintenance, including pruning and invasive species control, is necessary.



4.4 CURB

DESCRIPTION

Curbs are textured concrete curbstones designed to blend into natural park settings while providing subtle edge control. They define spaces without disrupting the landscape and feature earth-toned integral coloring for a natural look.

LOCATION

Curbs work well in parks, pathways, parking lots, and landscaped areas where a natural aesthetic is preferred. They help separate pedestrian, vehicular, and natural spaces while maintaining a cohesive design.

STANDARD

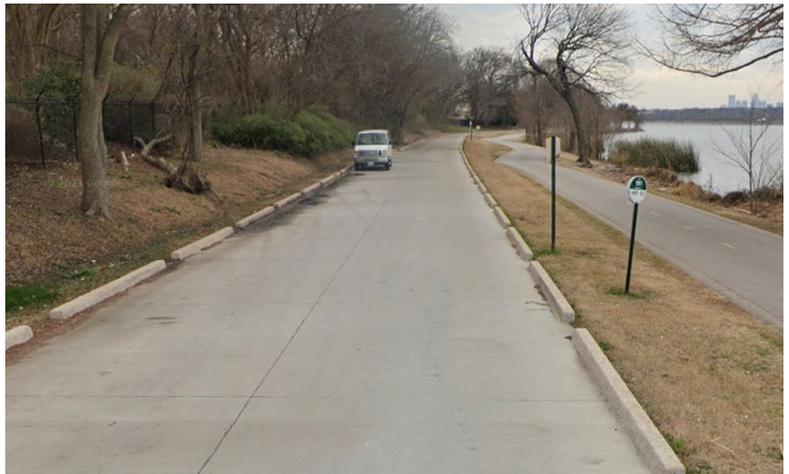
- Curbs shall have a stable subgrade, proper bedding, and, if needed, reinforcement in high-traffic areas.
- Their low-profile placement ensures edge control without disrupting the park's natural character.

BENEFITS

Curbs provide a durable, low-maintenance solution that enhances the natural look of park spaces.

GENERAL CONSIDERATIONS

Proper installation is essential to prevent settling, shifting, or cracking over time. Regular inspections help maintain stability.



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5.0 PARK AMENITIES

White Rock Lake Park offers a diverse range of amenities that enhance both recreation and conservation while maintaining the park's natural character. Thoughtfully designed to accommodate high visitor traffic while preserving the integrity of open spaces, these amenities support activities such as walking, cycling, fishing, boating, and wildlife observation.

5.1 PIERS

DESCRIPTION

Piers provide safe, accessible spaces for anglers or spectators without disturbing shoreline habitats. They extend over the water, offering a stable platform for users.

LOCATION

Ideally placed in areas with good water depth and minimal boat traffic. Accessibility and proximity to parking or trails should also be considered.

STANDARD

- Piers will be constructed using durable, weather-resistant materials for longevity.
- Piers will have accessible entry points for people of all abilities.

BENEFITS

Piers offer a designated space for anglers and other users, reducing shoreline erosion and habitat damage. They enhance recreational opportunities and can serve as gathering spots for visitors.

GENERAL CONSIDERATIONS

Regular maintenance is needed to prevent wear from weather and water exposure. Safety features, such as railings and non-slip surfaces, should be incorporated. Permitting and environmental impact assessments may be required before installation.



5.2 PLAYGROUNDS

DESCRIPTION

Playgrounds provide safe, engaging spaces for children to play and develop physical and social skills. They include structures like swings, slides, climbing frames, and interactive play elements.

LOCATION

Playgrounds should be placed in visible, well-trafficked areas within parks for safety. Locations near picnic areas, restrooms, and shaded spaces are ideal.

STANDARD

- Playgrounds will comply with accessibility standards (ADA guidelines).
- Playgrounds shall have shade elements or trees for comfort.

BENEFITS

Encourages outdoor activity, social interaction, and childhood development. Provides a family-friendly amenity that attracts visitors to parks. Safe and accessible designs ensure inclusive play for children of all abilities.

GENERAL CONSIDERATIONS

Routine inspections and maintenance are essential to prevent safety hazards. Placement should consider sun exposure and nearby seating for caregivers. Vandalism prevention strategies, such as durable materials, should be considered.



5.3 RESTROOMS

DESCRIPTION

Park restrooms provide essential sanitation facilities for visitors. They range from permanent structures with plumbing to portable restrooms. Well-maintained restrooms enhance park usability and visitor satisfaction.

LOCATION

Should be near high-traffic areas such as playgrounds, picnic sites, and trailheads. Placement should consider utility access, drainage, and proximity to parking. Visibility and lighting improve safety and accessibility.

STANDARD

- Restrooms shall have accessible stalls, handwashing stations and proper ventilation and lighting for comfort.
- When possible evaluate utility availability for permanent enclosed restrooms.
- Portable restrooms are acceptable with approval from DPARD. Units should be screened on three sides.

BENEFITS

Improves visitor experience by providing necessary sanitation. Supports longer park visits and accommodates a wide range of users. Properly maintained restrooms contribute to public health and hygiene.

GENERAL CONSIDERATIONS

Requires frequent cleaning and maintenance to remain sanitary. Plumbing and drainage must be designed for seasonal or year-round use. Security measures, such as locking systems and lighting, should be implemented.



5.4 TRAIL REST STOPS

DESCRIPTION

Trail rest stops provide places for visitors to rest and hydrate. They often include benches and trash receptacles. These stops improve comfort and accessibility along trails.

LOCATION

Placed along longer trails, especially at scenic viewpoints, intersections, or steep inclines. Should be spaced at reasonable intervals to provide consistent resting opportunities. Consider locations with natural shade or wind protection.

STANDARD

- Rest stops shall have durable, weather-resistant seating.
- Rest stops to include trash receptacles and recycling bins.
- Rest stops to comply with ADA accessibility for all users.
- Should contain hydration station including water fountains, bottle filler, and pet bowl.
- Should include misting and cooling stations when possible.

BENEFITS

Encourages trail use by providing comfortable rest areas. Reduces fatigue and improves visitor experience, especially for families and older users. Helps maintain cleanliness when trash bins are included.

GENERAL CONSIDERATIONS

Must be placed strategically to balance convenience and environmental impact. Regular maintenance is needed to keep facilities clean and functional. Consideration should be given to wildlife interactions and weather exposure.



5.5 PICNIC TABLES

DESCRIPTION

Picnic tables offer seating and dining areas for park visitors. These tables enhance social gatherings and outdoor dining experiences.

LOCATION

Should be near playgrounds, restrooms, and shaded areas for comfort. Placement near walking paths and open spaces encourages use. Consider spacing for accessibility and group accommodations.

STANDARD

- Tables to be anchored to the ground in high-wind or high-use areas.
- Picnic tables shall have ADA-compliant seating options.

BENEFITS

Durable materials require minimal maintenance while offering long-term use. Well-placed tables enhance visitor experience and park functionality.

GENERAL CONSIDERATIONS

Routine cleaning and inspections help maintain usability. Proper placement ensures accessibility and prevents overcrowding.



Standard Park Table - Green Perforated Metal



Optional Park Table - Rustic Wood (NPS Style)

5.6 PARK BENCHES

DESCRIPTION

Park benches provide seating for visitors to rest, socialize, or enjoy the scenery. Well-placed benches enhance comfort and accessibility in parks.

LOCATION

Best placed along walking trails, near playgrounds, and in shaded rest areas. Accessibility for all users should be considered.

STANDARD

- Park benches shall be made of durable, weather-resistant materials.
- Benches to be secured to the ground to prevent shifting or vandalism.
- Benches to have armrests and backrests for accessibility and comfort.

BENEFITS

Areas with park benches encourages visitors to rest and enjoy the park, increasing overall usability. Provides comfortable seating for seniors, families, and individuals with mobility needs. Well-placed benches enhance aesthetics and encourage longer park visits.

GENERAL CONSIDERATIONS

Routine inspections and maintenance prevent deterioration and vandalism. Placement should balance sun exposure and shade for visitor comfort.



Standard Park Bench - Green Metal Strap



Optional Park Bench - Wood with center armrest

5.7 DRINKING FOUNTAINS

DESCRIPTION

Drinking fountains provide clean, accessible water for park visitors and pets.

LOCATION

Ideal near playgrounds, picnic areas, and trailheads. Placement should consider accessibility, shade, and protection from contamination.

STANDARD

- Drinking fountains to connect to a reliable water source with proper drainage.
- Drinking fountains shall be ADA-compliant height and accessibility features.
- When possible, provide bottle filler and pet bowl.

BENEFITS

Promotes hydration and reduces the need for single-use plastic bottles. Enhances visitor comfort, especially in warm weather and active areas.

GENERAL CONSIDERATIONS

Regular cleaning and maintenance are essential to prevent contamination. Seasonal shut-off or freeze-resistant models are needed during colder months. Placement should consider foot traffic and ease of access.



Standard Fountain - MDF

5.8 BICYCLE REPAIR STATION

DESCRIPTION

Bike repair stations offer cyclists a convenient and secure place to maintain and fix their bikes.

LOCATION

Located near bike trails, park entrances, or heavily trafficked areas. Stations should be placed in visible, well-lit areas to ensure safety and ease of use.

STANDARD

- Repair stations should be equipped with essential tools for basic bike repairs, such as tire pumps, wrenches, and screwdrivers.
- Stations should be sturdy, weather-resistant, and easy to use.

BENEFITS

Bike repair stations provide cyclists with a designated space to perform minor repairs or adjustments, preventing issues on the trail. This supports cyclists in maintaining their bikes and ensures a safer and more enjoyable biking experience.

GENERAL CONSIDERATIONS

Stations should accommodate different types of bikes, with tools designed to fit a range of components. Regular maintenance of tools and equipment is necessary to ensure continued functionality.



5.9 GRILLS

DESCRIPTION

Grills provide designated cooking areas for park visitors. Grills enhance picnic areas and encourage outdoor dining experiences.

LOCATION

Should be near picnic tables, shelters, and trash receptacles. Positioned away from flammable materials and high-traffic areas for safety. Consideration should be given to wind direction and ventilation.

STANDARD

- Grills shall be surface mounted for stability.
- Grill areas shall have proper ash disposal and safety signage.
- Grills to be spaced appropriately to prevent overcrowding.

BENEFITS

Provides a safe and controlled space for grilling. Enhances visitor experience and makes parks more family friendly.

GENERAL CONSIDERATIONS

Regular cleaning and ash disposal are necessary to prevent buildup and fire hazards. Placement should minimize smoke impact on other park users. Routine inspections help ensure grills remain functional and safe.



Single Grill



Double Grill

5.10 TRASH RECEPTACLES

DESCRIPTION

Trash receptacles help keep parks clean by providing designated waste disposal areas. Proper placement and maintenance encourage responsible waste management.

LOCATION

Placed near picnic areas, rest stops, trailheads, and high-traffic zones. Should be positioned at convenient intervals along pathways and gathering spaces.

STANDARD

- Bins shall be surface mounted to prevent tipping or theft.
- Bins to be accessible for maintenance and trash collection.

BENEFITS

Designated trash receptacles reduce litter and keeps parks clean and welcoming. Encourages responsible waste disposal and supports recycling efforts. Helps protect wildlife from ingesting harmful waste.

GENERAL CONSIDERATIONS

Regular emptying and cleaning prevent overflow and odors. Placement should balance accessibility with minimizing visual impact.



Preferred Trash Receptacle

5.11 DUMPSTERS

DESCRIPTION

Dumpsters provide large-capacity waste disposal for parks with high visitor volume. They are essential for managing trash in areas with picnic shelters, event spaces, and maintenance facilities.

LOCATION

Should be placed near parking lots, maintenance areas, and event spaces. Positioned for easy access by waste collection trucks. Must be set back from high-traffic pedestrian areas for safety and aesthetics.

STANDARD

- Dumpster enclosures shall have lockable gates to deter unauthorized dumping.
- Surfaces shall have proper drainage to prevent standing water.

BENEFITS

Prevents trash overflow and keeps parks well-maintained. Supports waste management for large events and high-traffic areas.

GENERAL CONSIDERATIONS

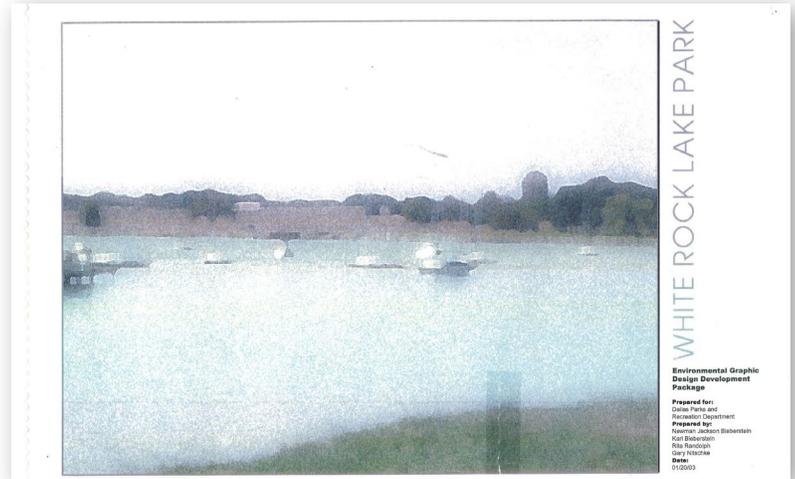
Regular collection is necessary to prevent odors and pests. Enclosures or screening can help reduce visual impact. Placement should consider accessibility for service vehicles and park users.

6.0 SIGNAGE AND GRAPHICS

The existing signage and graphics system at White Rock Lake Park has evolved in response to past needs and design trends, resulting in a diverse collection of signs made from materials such as stone, routed wood, steel blades, and various other elements. While this diversity provides distinct character to different zones of the park, it also creates a lack of cohesion, making it difficult for visitors to experience the park as a unified whole. The variation in signage styles causes park users to associate different sign types with specific areas rather than reinforcing a consistent identity for the entire park.

A cohesive approach to signage and graphics remains essential to unifying White Rock Lake Park while respecting its diverse functions and uses. The previous signage and graphics master plan continues to serve as a credible source for guiding future improvements, offering design principles that can help establish a visually connected and functional signage system. The entry monument at the intersection of Garland Road and East Lawther Drive was originally identified as a reference point for establishing a consistent design language, incorporating key characteristics such as asymmetrical limestone massing, inset graphics panels, and applied dimensional copy. These features can still inform the evolution of the park's signage system, ensuring that any updates maintain continuity with past design efforts while adapting to modern needs.

Reference 2003 Environmental Graphic Design Development Package



6.1 TYPE B PORTAL

GENERAL

A Type B Portal typically consists of 2 limestone structures, one at each side of the road at a main entrance to the park. The primary structure is located on the right hand side of the roadway and includes graphics. Where space allows, a second structure occurs on the left hand side of the roadway to further define the portal

FUNCTION

Identify main entrance to Park, and as appropriate, park destinations accessible from the entrance.

LOCATION

Occur at or near main entrance to Park, subject to specific conditions at each proposed location.

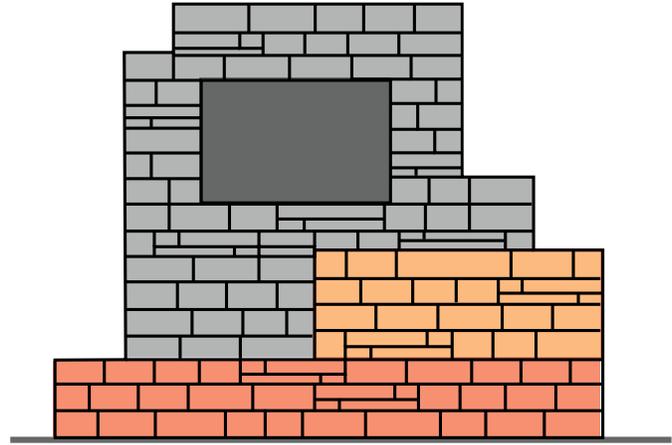
ORIENTATION

Signs are single-faced and oriented perpendicular to direction of approach. Copy is oriented facing direction of approach.

CONSTRUCTION

Foundation:

Cast in place reinforced concrete base.



BP

TYPICAL TYPE B PORTAL

Front view

6.1 TYPE B PORTAL

GENERAL

A Type C Portal consists of a single limestone structure that is a scaled-down version of the primary Type B Portal Structure.

FUNCTION

Identify secondary entrances to Park, and, as appropriate, park destinations accessible from the entrance.

LOCATION

Occur at or near main entrance to Park, subject to specific conditions at each proposed location.

ORIENTATION

Signs are single-faced and oriented perpendicular to direction of approach. Copy is oriented facing direction of approach.

CONSTRUCTION

Foundation:

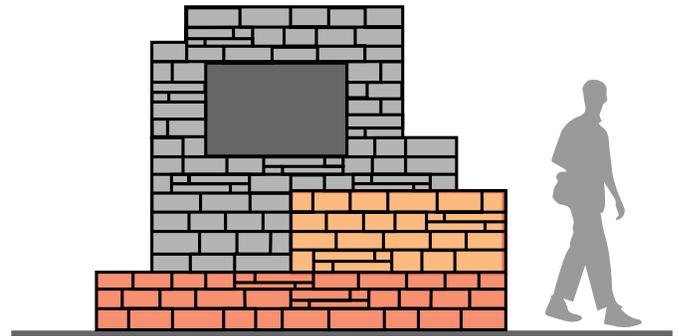
Cast in place reinforced concrete base.

Structure:

Project Standard masonry

Graphics:

Project standard Dimensional graphics on Inset stone panel



TYPICAL TYPE C PORTAL

Front view

6.3 FACILITY IDENTIFICATION SIGNS TYPE A

GENERAL

Limestone structure with fabricated sign panel. Graphics include facility or destination name, address and park identifier.

FUNCTION

Identify primary facilities and destinations within the Park and vehicular entrances that are unique to those primary facilities and destinations.

LOCATION

At or near facility or at vehicular entrance to facility.

ORIENTATION

Signs are single-faced and oriented perpendicular to direction of approach. Copy is oriented facing both directions of approach.

CONSTRUCTION

Foundation:

Cast in place reinforced concrete base.

Structure:

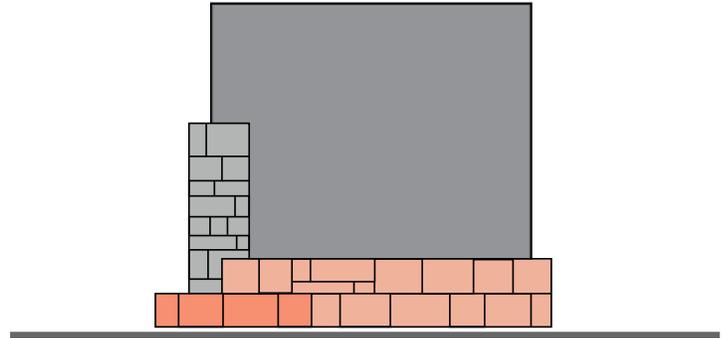
Project standard masonry.

Sign Panel:

Fabricated aluminum face on fabricated aluminum framing.
Painted, Project Standard Color No.2.

Graphics:

Project Standard Dimensional Graphics on Sign Panel.
Face of font painted Project Standard Color No. 1.
Side of font painted Project Standard Color No. 2.



AF

TYPE A FACILITY / IDENTIFICATION

Front view

6.4 FACILITY IDENTIFICATION SIGNS TYPE B

GENERAL

Limestone structure with fabricated sign panel. Graphics include facility or destination name and address. There are no activities listed on the sign.

FUNCTION

Identify primary facilities and destinations within the Park and vehicular entrances that are unique to those primary facilities and destinations.

LOCATION

At or near facility or at vehicular entrance to facility.

ORIENTATION

Signs are single-faced and oriented perpendicular to direction of approach. Copy is oriented facing both directions of approach.

CONSTRUCTION

Foundation:

Cast in place reinforced concrete base.

Structure:

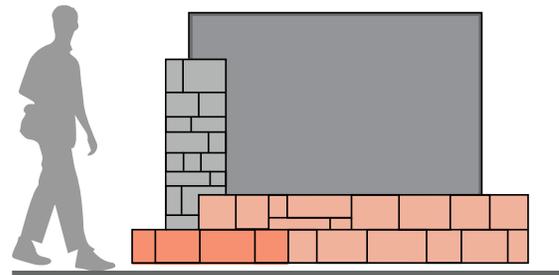
Project standard masonry.

Sign Panel:

Fabricated aluminum face on fabricated aluminum framing.
Painted, Project Standard Color No.2.

Graphics:

Project Standard Dimensional Graphics on Sign Panel.
Face of font painted Project Standard Color No. 1.
Side of font painted Project Standard Color No. 2.



TYPE B FACILITY / IDENTIFICATION

Front view

6.5 INFORMATION MAP/ LAKE INTERPRETIVE

GENERAL

Limestone structure with fabricated metal sign panel. Dimensional letters and porcelain enamel graphics panel occurs on both sides. On one side, the porcelain enamel graphics panel illustrates a map of the lake. On the opposite side the porcelain enamel graphics panel includes a White Rock Lake interpretive graphic.

FUNCTION

Park map provides orientation on an overview of the Park. Each map includes prominent “You are here” indication and each map is oriented so that top of map is consistent with viewer orientation.

LOCATION

Signs are located adjacent to parking lots and the walking trails.

ORIENTATION

Signs are double-faced and oriented perpendicular to direction of approach. Signs are oriented so that the vertical stone element is always to the left of the map.

For signs adjacent to the walking trail, the map side of the sign is to the right of the trail. Signs adjacent to parking lots are oriented so that the map side of the sign is the most prominent face from the parking lot.

CONSTRUCTION

Foundation:

Cast in place reinforced concrete base.

Structure:

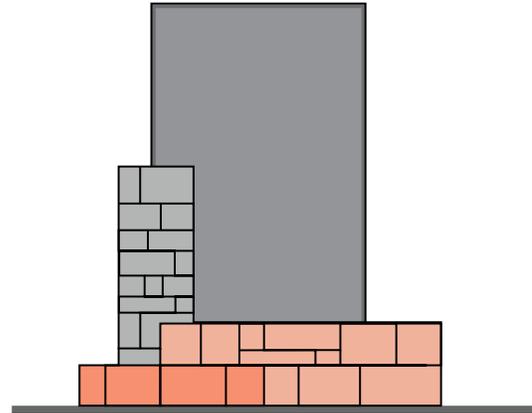
Project standard masonry.

Sign Panel:

Fabricated aluminum face on fabricated aluminum framing. Painted, Project Standard Color No.2.

Graphics:

Project Standard Dimensional Graphics on Sign Panel.
Face of font painted Project Standard Color No. 1.
Side of font painted Project Standard Color No. 2.



TYPICAL INFORMATION GRAPHICS/ LAKE INTERPRETIVE

Front view

6.6 CIRCULATION DIRECTIONAL SIGNS

GENERAL

Limestone (typ.) structure with fabricated metal sign panel. Graphics include facility or destination names and directional arrows. There are no activities listed on the sign.

FUNCTION

Provide directions for vehicular traffic to facilities and destinations within the park.

LOCATION

Adjacent to roadways at critical decision points.

ORIENTATION

Signs are single-faced and oriented perpendicular to direction of approach. Copy is oriented facing direction of approach.

CONSTRUCTION

Foundation:

Cast in place reinforced concrete base.

Structure:

Project standard masonry.

Sign Panel:

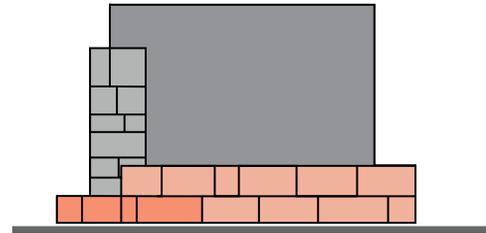
Fabricated aluminum face on fabricated aluminum framing. Painted, Project Standard Color No.2.

Graphics:

Project Standard Dimensional Graphics on Sign Panel.

Face of font painted Project Standard Color No. 1.

Side of font painted Project Standard Color No. 2.



CIRCULATION DIRECTIONAL

Front view

6.8 INTERPRETIVE GRAPHICS

GENERAL

Limestones structure with fabricated metal sign panel.

FUNCTION

Interpretive graphics provide information about specific historical or environmental features in the park.

LOCATION

Adjacent to roadways at critical decision points.

ORIENTATION

Signs are single-faced and oriented perpendicular to direction of approach. Copy is oriented facing direction of approach.

CONSTRUCTION

Foundation:

Cast in place reinforced concrete base.

Structure:

Project Standard Masonry.

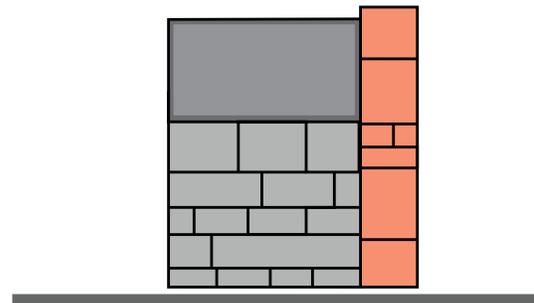
Sign Panel:

Fabricated aluminum face on fabricated aluminum framing.
Painted, Project Standard Color No.2.

Graphics:

Porcelain Enamel.

Colors will vary on panel depending on graphic.



INTERPRETIVE GRAPHIC

Front view

6.8 INTERPRETIVE GRAPHICS

GENERAL

Limestone and timber frame structure with standing seam metal roof. Kiosk structure includes a double-face sign panel. One side of the sign panel is a lockable glass display case. The opposite side displays park map and park regulations.

FUNCTION

Primary function is to allow for controlled display of park specific activities. Secondary function is to display park regulations and orientation map.

LOCATION

Signs are located along trails and at selected facilities.

ORIENTATION

Orient display case to primary direction of approach.

CONSTRUCTION

Foundation:

Cast in place reinforced concrete base.

Structure:

Project Standard Masonry and heavy timber.

Sign Panel:

Fabricated aluminum face on fabricated aluminum framing;
Painted, Project Standard Color No.2.

Graphics:

Project standard dimensional graphics and Porcelain Enamel sign panels.

Face of WHITE ROCK LAKE PARK painted Project Standard Color No.1.

Side of all fonts painted Project Standard Color No.2

Thickness of Project Standard Font are as follows:

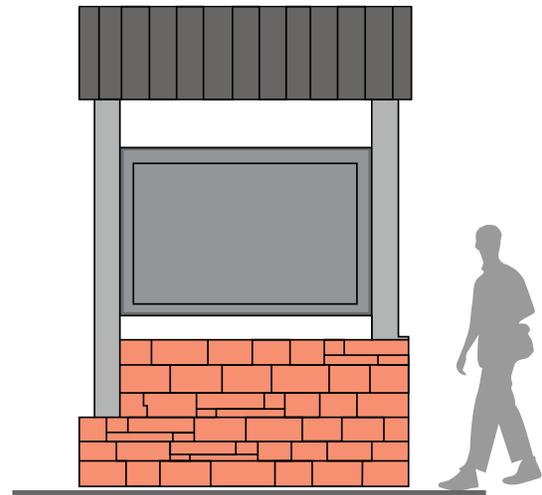
WHITE ROCK LAKE PARK - 1"

Graphic Map/Regulation Panels:

Porcelain Enamel

Background color of Map/Regulation Panel to match Project Standard Color No.3

Dark Color on Regulation Panel to match Project Standard Color No.4



INFORMATION KIOSK

Front view

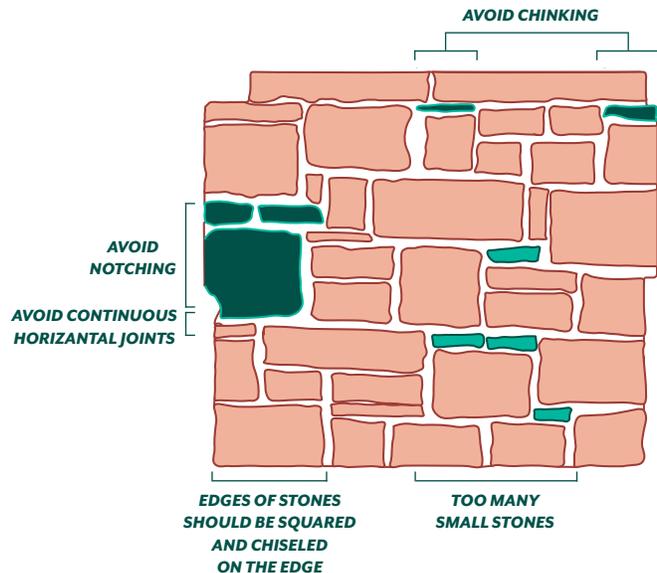
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7.0 STONEMWORK

Stonework plays a vital role in maintaining both the structural integrity and aesthetic quality of White Rock Lake Park's built environment. As a material deeply connected to the park's natural setting, well-designed stonework should complement the landscape while providing durability against weathering, erosion, and heavy public use. Thoughtful construction techniques ensure longevity, prevent structural failures, and maintain visual harmony with the surrounding environment.

Proper stonework design avoids common issues such as notching, continuous horizontal joints, excessive use of small stones, and chinking, all of which can weaken the structure and detract from its natural appearance. Continuous horizontal joints reduce stability, while excessive small stones and chinking create a fragmented look that lacks the strength and cohesion of well-fitted masonry. Instead, stones should be carefully selected and arranged to interlock securely, dispersing loads evenly and minimizing vulnerability to shifting or erosion.

By adhering to high construction standards, stone elements—such as retaining walls, seating areas, and shoreline reinforcements—can remain both functional and visually unobtrusive for decades. Properly executed stonework contributes to a park environment that is not only resilient but also seamlessly integrated into the natural character of White Rock Lake.



8.0 VEGETATION

General Objectives

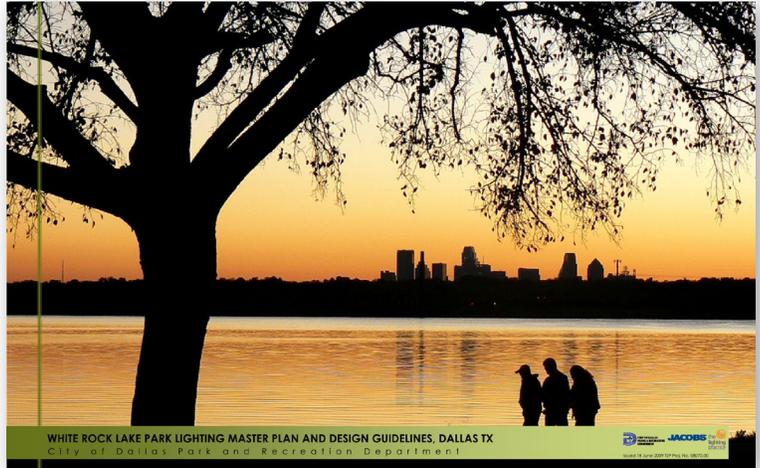
The Management Plan for White Rock Lake Park adopted in 1987 contains the following objective related to the management of its vegetative resources:

“Native and indigenous vegetation will be maintained and restored whenever possible to provide a stable groundcover and canopy to enhance the park as a unique urban resource. Wildflower and native grass areas will be preserved against encroachment and uses which endanger their existence. An extensive reforestation program will be instituted to replace deteriorating trees and to ensure the existence of mature tree cover in the future.”

Vegetation maintenance at White Rock Lake is managed by DPARD under guidance of the city forester and urban biologist. Additional resources are available through DPARD on vegetation maintenance.

9.0 LIGHTING

Effective lighting is crucial for enhancing safety, accessibility, and the overall experience of park visitors. In natural settings like White Rock Lake Park, implementing a lighting strategy that meets functional requirements while preserving the park's ambiance is essential. The challenge lies in designing lighting solutions that provide adequate illumination for pathways, facilities, and gathering areas without introducing intrusive glare or causing light pollution. Balancing these needs ensures that the park remains welcoming and secure during evening hours while maintaining its commitment to environmental preservation.



10.0 PUBLIC ART

General Overall Criteria and Philosophy

The uniqueness of White Rock Lake Park must be a first consideration in the development of any public art projects that take place in or near the lake.

The Management Plan, adopted in 1987, by the Dallas Park and Recreation Board, has defined land use suitability and management policies for White Rock Lake Park. Those definitions were used to lay a foundation for the criteria in these design guidelines. It is important that any proposals developed for public art for White Rock Lake Park be consistent with the management plan.

Specific requirements have been established for the development of public art projects in some of these zones and special places, however, an overall philosophy and set of seven general criteria have been outlined for public art at White Rock Lake Park in general:

1. Art Appropriateness
2. Selection Committee
3. Ecological Integration
4. Forms and Materials
5. Durability
6. Location
7. Quantity

References:

1994 White Rock Lake Park Design Guidelines



11.0 UTILITIES

Utilities play a vital role in supporting the infrastructure and functionality of White Rock Lake Park, ensuring that visitors, facilities, and recreational areas have access to essential services such as water, electricity, and drainage. Given the park's expansive natural setting, utility systems must be integrated with minimal visual and environmental impact while maintaining efficiency and reliability. Thoughtful planning and placement of utility lines, service connections, and access points help preserve the park's scenic character and ecological balance.

Over time, utility installations at White Rock Lake have evolved to meet changing needs. Some areas suffer from outdated infrastructure, while others require improvements to accommodate increased park usage. Future utility upgrades should focus on sustainable solutions, such as energy-efficient lighting, improved stormwater management, and the strategic undergrounding of power lines where feasible. By carefully coordinating utility placement with landscape features and park amenities, the park can maintain its natural beauty while providing modern, reliable services that support both visitors and environmental conservation efforts.

12.0 ARCHITECTURE

There are in general, four basic styles of existing park architecture. First are the sand-stone structures that appear to be the earliest structures from approximately the 1930's: Works Progress Administration (WPA) and Civilian Conservation Corps (CCC). These include the wooden trussed, stone exterior, load bearing masonry picnic pavilions, etc. The second type of structure is the WPA art deco/art modern type which dates from the 1930's and includes bridges, the Boat House, and the Bath House Cultural Center. These are all poured-in-place concrete structures with minimal but nicely executed detailing. The third type of structures are from the 1940's and include Winfrey Point, Dreyfuss Club, Big Thicket, and Sunset Bay. These structures are more cottage-like and use some stone, but are mostly shingle style architecture with wrap around porches. They have interior trusses that are generally exposed with wooden floors. The fourth type of structures are the newer picnic pavilions. These are also stone with concrete poured-in-place roof decks.

References:

1994 White Rock Lake Park Design Guidelines

2003 Reflection Point Design Guidelines



